

The City of Durant encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged in order to make the necessary accommodations. The City of Durant may waive the 48-hour rule if interpreters for the deaf (signing) or translation services for limited English proficient (LEP) individuals are not necessary accommodation.

DURANT CITY COUNCIL

6:00 PM

**Roscoe J. Hatfield
Council Chambers
300 West Evergreen
Durant, Oklahoma
AGENDA**

October 14, 2025

CALL TO ORDER

INVOCATION/FLAG SALUTE

ROLL CALL

PRESENTATIONS

- 1. Present Proclamation Proclaiming November 2025 as Diabetes Awareness Month**
- 2. Present Proclamation Commemorating First United Bank's 125th Anniversary**
- 3. 2025 3rd Quarter Employee Service Awards**

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

- a. Consider Approval of Meeting Minutes of September 18, 2025
- b. Consider Approval of Budget Supplements BA 26-2
- c. Consider Approval of Mayoral Recommendation to Appoint David Rhynes and Mike Davis to Each Serve An Additional Term on the Board of Adjustments

2. Consider Items Removed from Consent

3. Information Items

- a. Phillip Hightower - Public Works
- b. Ryan Brewer - Parks and Recreation
- c. Denis Godfrey – Airport
- d. Chief Jesse Petty - Police Department
- e. Chief Jeff Langford - Fire Department
- f. Richard Ezell - Emergency Management
- g. Paul Cottrell - Community Development
- h. Robbee Tonubbee - Donald W. Reynolds Community Center and Library
- i. Dana Trent - Ron Cross Senior Activity Center

4. Administration

- a. 1) - Consideration of Approval to Participate in the Purdue Pharma L.P. Bankruptcy Case and GESA Settlement, Including Agreeing to the Terms of the Purdue Bankruptcy, the Release of All Claims Against Purdue, the Sacklers, and Certain Affiliates, and the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements (R-2025-16);

2) - Consideration of Approval to Participate in the Secondary Manufacturer Settlements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, Including Agreeing to the Terms of the Secondary Manufacturer Settlements, the Release of All Claims Against Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, and Certain Affiliates, the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement, and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements (R-2025-17).

- b. Discussion, Consideration, and Possible Action on Resolution R-2025-18 Revising the Wage and Salary Plan.
- c. Consider Approval of Resolution Concerning Bridge Inspection Responsibility by Local Government for Compliance with National Bridge Inspection Standards - Bridge Inspection Contracts for April 1, 2026 to March 31, 2028 (R-2025-15)
- d. 1) Consider Acceptance of Grant Award from the Oklahoma Department of Commerce for the 19496 CDBG-SC 24 in the Amount of \$171,250;
 2) Discussion, Consideration and Possible Action to Adopt the Residential Anti-Displacement and Relocation Assistance Plan Relating to the 19496 CDBG-SC 24 Project
- e. Consideration and Possible Approval of a Final Plat for Property Located Near Lindenwood Drive for HPH Investors Lindenwood Phase 7.
A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-one (21), Township Six (6) South, Range Nine (9) East of the Indian Meridian, Bryan County, Oklahoma, being more particularly described as follows:
COMMENCING at the Southwest Corner of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section 21; THENCE North 00°19'48" East along the west line of said NW/4 SW/4, a distance of 969.00 feet; THENCE North 89°49'57" East, parallel with the south line of the North Half of the Southwest Quarter (N/2 SW /4) of said Section 21, a distance of 485.55 feet to the most westerly Southwest corner of LINDEN WOOD - PHASE 5, recorded in Book 1639 Page 545 at the Office of the Bryan County Clerk; THENCE North 00°19'48" East along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD -PHASE 5, a distance of 60.00 feet to the Northwest corner of said LINDEN WOOD - PHASE 5, for the POINT OF BEGINNING; THENCE continuing North 00°19'48" East parallel with the west line of the Northwest Quarter of the Southwest Quarter (NW /4 SW /4) of said Section, a distance of 11.18 feet; THENCE North 89°50'02" East, a distance of 157.13 feet; THENCE North 00°19'48" East, parallel with the west line of the NW/4 SW/4 of said Section, a distance of 277.23 feet to the north line of the Southwest Quarter (SW/4) of said Section; THENCE North 89°49'49" East along said north line of the Southwest Quarter (SW/4) a distance of 557.12 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD -PHASE 5, being a northerly corner of said LINDEN WOOD-PHASE 5; THENCE South 00°19'48 West along the west line of said Lot 1, Block 1, being in the West line of said LINDEN WOOD - PHASE 5, a distance 288.43 feet to the north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way) for the southwest corner of said Lot 1, Block 1, and a northerly ell corner of said LINDEN WOOD - PHASE 5; THENCE South 89°49'57" West along said north right-of-way line of said LINDENWOODS

DRIVE (a 60' right-of-way), being in the north line of said LINDEN WOOD - PHASE 5, a distance of 714.25 feet to the POINT OF BEGINNING.

- f. Consideration and Possible Approval of a Conditional Use Permit for Property Located at 109 West Lost Street and More Particularly Described as:
Lots 1 and 2 and the East 40 feet of Lot 3 and Lot 11 less the West 3 feet thereof, in Block 196B, City of Durant, Bryan County, Oklahoma, according to the Official Plat thereof.

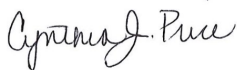
- g. Consideration and Possible Approval of a Conditional Use Permit CUP for Property Located Near Shady Creek Road and More Particularly Described as:
All that part of the W/2 NW/4 lying West of right-of-way of the K. O. & G. Railway in Section 16, Township 6 South, Range 9 East of the Indian Base and Meridian, Bryan County, State of Oklahoma, according to the official plat and survey thereof.

5. New Business

ADJOURNMENT

CERTIFICATE

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 11th day of November 2024 and that an agenda of said meeting was posted at the place of such meeting at 9:10 a.m. on the 10th day of October 2025.



Cynthia J. Price, City of Durant



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Cynthia Price, City Clerk
Re: Consider Approval of Meeting Minutes of September 18, 2025

Council Information / Action Requested

Approval of Meeting Minutes of September 18, 2025

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. Durant City Council Minutes 09182025 cjp

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 3rd day of September 2025 and that an agenda of said meeting was posted at the place of such meeting at 4:35 p.m. on the 16th day of September 2025. An amended agenda of said meeting was posted at the place of such meeting at 4:40 p.m. on the 17th day of September 2025.



Cynthia J. Price, City of Durant

**MINUTES OF THE MEETING OF DURANT CITY COUNCIL
September 18, 2025 AT 6:00 PM
Roscoe J. Hatfield Council Chambers
300 West Evergreen
Durant, Oklahoma**

CALL TO ORDER

Mayor Tucker called the meeting to order at 6:00 p.m.

INVOCATION/FLAG SALUTE

Mayor Tucker provided the invocation and led the flag salute.

ROLL CALL

Present:

Council Member Humphrey Miller
Council Member Danny Sherrer
Vice Mayor Mike Simulescu
Mayor Martin Tucker
Interim City Attorney Mason McMillan
City Manager Pam Polk
Interim Secretary Brandy Stachowski

Absent:

City Clerk Cynthia J. Price

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

- a. Consider Approval of Regular Meeting Minutes of August 12, 2025

- b. Consider Approval of Special Called Meeting Minutes of August 15, 2025
- c. Consider Approval of Budget Supplements BA 26-01

Motion To: Approve Consent Items as Presented

Motion By: Humphrey Miller

Seconded By: Danny Sherrer

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

2. Consider Items Removed from Consent

3. Information Items

4. Administration

- a. Discussion, Consideration, and Possible Action on Acceptance of a Proposal for Renewal of Excess Workers Compensation Insurance with Midwest Employers Insurance Company

Motion To: Acceptance of a Proposal for Renewal of Excess Workers Insurance with Midwest Employers Insurance Company in the Amount of \$149,842.00 Per Year

Motion By: Martin Tucker

Seconded By: Mike Simulescu

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- b. Consider Approval of Resolution R-2025-13 City of Durant Emergency Operations Plan Update for 2025-2026

Motion To: Approve Resolution R-2025-13 City of Durant Emergency Operations Plan Update for 2025-2026

Motion By: Humphrey Miller

Seconded By: Mike Simulescu

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- c. 1. Consider Approval of Ordinance O-2025-19, Sections 1-3, Repealing Ordinance Number O-2023-02 and Section 51.42 of the City Code of the City of Durant, Oklahoma;

Motion To: Approve Ordinance O-2025-19 Repealing Ordinance O-2023-02 and Section 51.42 of the City Code of the City of Durant, Oklahoma

Motion By: Martin Tucker

Seconded By: Mike Simulescu

Ayes: Simulescu, Tucker

Nays: Miller, Sherrer

Abstain: None

- d. Consideration and Possible Approval of a Replat for Property Located at East Mulberry Street and Northeast Second Ave and more particularly described as:
The North 100 feet of the West 5 feet of Lot 4 and the North 100 feet of Lots 5 and 6 in Block 69 in the City of Durant, Bryan County, Oklahoma, according to the official plat thereof.

Motion To: Approve Replat for Property Located at East Mulberry Street and NE Second Avenue

Motion By: Martin Tucker

Seconded By: Humphrey Miller

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- e. Consideration and Approval of a Final Plat for property located near Lindenwood Drive.
A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-one (21), Township Six (6) South, Range Nine (9) East of the Indian Meridian, Bryan County, Oklahoma, being more particularly described as follows: COMMENCING at the Southwest Corner of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section 21; THENCE North 00°19'48" East along the west line of said NW/4 SW/4, a distance of 969.00 feet; THENCE North 89°49'57" East, parallel with the south line of the North Half of the Southwest Quarter (N/2 SW /4) of said Section 21, a distance of 485.55 feet to the most westerly Southwest

corner of LINDEN WOOD - PHASE 5, recorded in Book 1639 Page 545 at the Office of the Bryan County Clerk; THENCE North 00°19'48" East along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD -PHASE 5, a distance of 60.00 feet to the Northwest corner of said LINDEN WOOD - PHASE 5, for the POINT OF BEGINNING; THENCE continuing North 00°19'48" East parallel with the west line of the Northwest Quarter of the Southwest Quarter (NW /4 SW /4) of said Section, a distance of 11.18 feet; THENCE North 89°50'02" East, a distance of 157.13 feet; THENCE North 00°19'48" East, parallel with the west line of the NW/4 SW/4 of said Section, a distance of 277.23 feet to the north line of the Southwest Quarter (SW/4) of said Section; THENCE North 89°49'49" East along said north line of the Southwest Quarter (SW/4) a distance of 557.12 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD -PHASE 5, being a northerly corner of said LINDEN WOOD-PHASE 5; THENCE South 00°19'48 West along the west line of said Lot 1, Block 1, being in the West line of said LINDEN WOOD - PHASE 5, a distance 288.43 feet to the north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way) for the southwest corner of said Lot 1, Block 1, and a northerly ell corner of said LINDEN WOOD - PHASE 5; THENCE South 89°49'57" West along said north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way), being in the north line of said LINDEN WOOD - PHASE 5, a distance of 714.25 feet to the POINT OF BEGINNING.

Motion To: Approve Final Plat for Property Located Near Lindenwood Drive

Motion By: Martin Tucker

Seconded By: None

Motion Died for Lack of Second.

Item Tabled.

- f. 1) Consideration and Possible Approval of Ordinance O-2025-15, Section 1, for a Rezone to C-3 General Commercial District for Property Located at 101 East Main Street in Durant, and More Particularly Described as; *All that part of Lot 4 lying East of the Railroad and West 20 feet of Lot 3, all in Block 193, City of Durant, Bryan County, Oklahoma, according to the Official Plat and Survey thereof.*

- 2) Consider Approval of Ordinance O-2025-15, Section 2 (Emergency Clause)

Motion To: Approval of Ordinance O-2025-15, Section 1, Rezone to C-3 General Commercial District for Property Located at 101 East Main Street

Motion By: Danny Sherrer

Seconded By: Mike Simulescu

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

Motion To: Approve Ordinance O-2025-15, Section 2 (Emergency Clause)

Motion By: Martin Tucker

Seconded By: Humphrey Miller

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- g. 1) Consideration and Possible Approval of Ordinance O-2025-16, Section 1, for a Rezone to R-3 General Residential District and Replat for Property Located Near South Third Avenue and More Particularly Described as: *Lot 9 in Block 331 in the City of Durant, Bryan County, Oklahoma according to the recorded plat thereof;*
- 2) Consider Approval of Ordinance O-2025-16, Section 2 (Emergency Clause)

Motion To: Approve Ordinance O-2025-16, Section 1

Motion By: Danny Sherrer

Seconded By: Humphrey Miller

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

Motion To: Approve Ordinance O-2025-16, Section 2 (Emergency Clause)

Motion By: Martin Tucker

Seconded By: Mike Simulescu

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- h. Consideration and Possible Approval of a Replat for Property Located near Washington Ave and Fishermans Lane and More Particularly Described as: *Being in Block 1, part of Lot 3 of Indian Acres Addition, located in Section 18, Township 6 South, Range 9 East of the Indian Base and Meridian according to the Government Survey thereof, and being part of the tract of land described in the deed to Joseph Lewis and Edna Sherman-Lewis, recorded in Book 1033, Page 1051, and part of the tract of land described in the deed to Joseph Lewis and Edna Sherman-Lewis, recorded in Book 957, Page 667, and being described by metes and bounds as follows: Commencing at a found ½" steel rod to the Southwest corner of said Lot 3,*

and on the northerly right-of-way line of Fishermans Lane; Thence North 89 degrees 04 minutes 38 seconds East, with the Southerly line of said Lot 3, and with the Northerly right-of-way line of said Fishermans Lane, a distance of 244.55 feet to a set ½" steel rod for the True Point-of-Beginning, and the southwest corner of the herein described tract of land; Thence North 00 degrees 50 minutes 00 seconds West, crossing said Lot 3, a distance of 142.14 feet to a set ½" steel rod; Thence North 46 degrees 23 minutes 25 seconds West, continuing across said Lot 3, a distance of 94.77 feet to a set ½" steel rod for the northwest corner of the herein described tract of land and on the northerly line of said Lot 3, and on the Southerly line of Lot 2 in aforesaid Block 1, and from which a found ½" steel rod for the northwest corner of said Lot 3 bears South 89 degrees 04 minutes 38 seconds West, a distance of 176.90 feet; Thence North 89 degrees 04 minutes 38 seconds East, with the Northerly line of said Lot 3, and with the Southerly line of said Lot 2, a distance of 99.81 feet to a set ½" steel rod for the Northeast corner of the herein described tract of land; Thence South 46 degrees 23 minutes 25 seconds East, crossing said Lot 3, a distance of 53.01 feet to a set ½" steel rod; Thence South 00 degrees 50 minutes 00 seconds East, continuing across said Lot 3, a distance of 171.43 feet to a set ½" steel rod for the Southeast corner of the herein described tract of land and on the southerly line of said Lot 3, and on the northerly line of aforesaid Fishermans Lane; Thence South 89 degrees 04 minutes 38 seconds West, with the Southerly line of said Lot 3, and with the Northerly line of said Fishermans Lane, a distance of 70.00 feet to the Point of Beginning.

Motion To: Approve Replat for Property Located Near Washington Avenue and Fishermans Lane

Motion By: Danny Sherrer

Seconded By: Mike Simulescu

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- i. 1) Consideration and Approval of Ordinance O-2025-17, Section 1, for a Rezone/Replat Request for Property Located Near Country Club Road and Southeast Third Ave and More Particularly Described as:

Parcel A:

Tract 1: A part of the NE/4 NE/4 of Section 8, Township 7 South, Range 9 East of the Indian Base and Meridian, in Bryan County, Oklahoma, described as BEGINNING at a point N89°43'16"W 106 feet and S00°25'26"W 460.06 feet on West Highway Right-of-Way from the Northeast corner of said Section 8; Thence N89°57'34"W 197.16 feet; Thence S02°18'33"W 181.67 feet; Thence S88°29'01"E 203.17 feet to the Highway Right-of-Way; Thence N00°25'26"E along Highway Right-of-Way 186.76 feet to the Point of Beginning. AND Tract 2: A part of the NE/4 NE/4 of Section 8, Township 7 South, Range 9 East of the Indian Base and Meridian, In Bryan County, Oklahoma, described as BEGINNING at a point N89°43'16"W 106 feet on West Highway Right-of-Way from the Northeast Corner of said Section 8; Thence N89°43'16"W 397 feet; Thence S00°34'5S"W 1091.41 feet; Thence S89°43'16"E 400.02 feet to Highway Right-of-Way; Thence N00°25'26"E 444.78 feet along Highway Right-of-Way; Thence N88°29'01"W 203.17 feet; Thence N02°18'33"E

181.67 feet; Thence S89°57'34"E 197.16 feet to Highway Right-of-Way; Thence N00°25'26"E 460.06 feet along Highway Right-of-Way to the Point of Beginning.

AND

Parcel B:

Commencing at the NW/C of the NE/4 of Section 8, Township 7 South, Range 9 East of the Indian Meridian in Bryan County, Oklahoma; Thence N89°30'16"E, along the North Line of said NE/4, a distance of 1032.89 feet to the Point of Beginning; Thence N89°30'16"E, continuing along said North Line, a distance of 1124.67 feet; Thence S00°11'33.11"E a distance of 791.25 feet to a point on the State of Oklahoma R/W; Thence along said R/W for the following 4 courses: S70°48'20"W a distance of 221.86 feet; Thence S75°56'SS"W a distance of 531.56 feet; Thence S80°51'37"W a distance of 338.84 feet; Thence N74°07'07"W a distance of 70.25 feet; Thence N00°00'00"W a distance of 1018.11 feet back to the Point of Beginning;

2) Consider Approval of Ordinance O-2025-17 Section 2 (Emergency Clause)

Motion To: Deny Ordinance O-2025-17

Motion By: Martin Tucker

Seconded By: Humphrey Miller

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- j. 1) Consideration and Approval of Ordinance O-2025-18, Section 1, for a Rezone/Replat for Property Located Near West Main and Gates Ave and More Particularly Described as:
E/2 of Lot 9 and all of Lots 10 and 11 in Block 1, Jennings Heights Subdivision of Bryan County, Oklahoma, according to the official plat and survey thereof. AND Lot 5, Block 1, Jennings Heights Addition, Bryan County, Oklahoma, according to the official plat Thereof AND A part of Lot 1 in Block 4 of ALBIN'S ACRES ADDITION to the City of Durant, Bryan County, Oklahoma, described as BEGINNING at a point 22 feet West of the Southeast Corner of said Lot 1 in Block 4; Thence North parallel to and 22 feet West of the East line of Lot 1 a distance of 812.18 feet to the South boundary line of the right of way of the St. Louis and San Francisco Railroad, Thence deflecting to the right at an angle of 107 degrees 02 minutes Eastwardly along the South line of said right of way line of said Railroad a distance of 623.08 feet; Thence deflecting to the right 162 degrees 58 minutes West along the North line of the SE/4 SE/4 SW/4 of Section 25, Township 6 South, Range 8 East a distance of 594.3 feet to the Northwest Corner of said 10 acre tract; Thence South along the West line of the SE/4 SE/4 SW/4 a distance of 625 feet to the Southeast Corner of said Lot 1 in said Block 4, Albin's Acres Addition; Thence West 22 feet to the point of beginning, according to the recorded plat thereof, and Lots 2,3,4,6 and 7 in Block 1 of JENNINGS HEIGHTS ADDITION, and Tract 1, LESS AND EXCEPT the East 132.50 feet thereof and LESS AND EXCEPT the West 87.50 feet of the East 220.00 feet thereof, of JENNINGS HEIGHTS ADDITION, to Bryan County, Oklahoma, according to the recorded plat thereof. AND All of Lot 8 and the W/2 of Lot 9, of Block 1, in Jennings Heights

Addition to the City of Durant, Bryan County, Oklahoma, according to the recorded plat thereof;

2) Consider Approval of Ordinance O-2025-18 Section 2 (Emergency Clause)

Motion To: Approve Ordinance O-2025-18, Section 1, Conditioned Upon Leaving the Road As-Is and Create An Easement on West Side for Fire

Motion By: Humphrey Miller

Seconded By: Martin Tucker

Ayes: Miller, Sherrer, Simulescu, Tucker

Nays: None

Abstain: None

- k. Consider Approval of Resolution Establishing Fees and Costs Charged by the City of Durant and the Durant Airport Authority for Durant Services (R-2025-14)

5. New Business

ADJOURNMENT



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: An chen Lai, Finance Director/Treasurer
Re: Consider Approval of Budget Supplements BA 26-2

BA 26-2

- #444 Appropriate funds for OGE Easement, 1st Quarter Donation, ICMA Film Durant
- #445 Appropriate funds for Animal Shelter Facility Adjustment
- #446 Appropriate funds for 2025a Main Street Project
- #447 Appropriate funds for OGE Easement
- #448 Appropriate funds for 1/2% ST Transfer to Sinking Fund for payment
- #449 Appropriate funds for Terminal Building replaced 3 HVAC
- #450 Appropriate funds for Sinking Fund 2025A
- #451 Appropriate funds for Pendleton Trust Revenue & Adjust Fund Balance

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. BA 26-2 Budget Adjustment Register



Durant, OK

Budget Adjustment Register

Adjustment Detail

Packet: GLPKT12363 - 10142025 BA 26-2 16 TO 23

Adjustment Number	Budget Code	Description	Adjustment Date
BA0000444	FY 25/26 ORIGINAL BUDGET	BA 26-2 GF FOR EASEMENT, DONATION & OPER ADJ	10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
001-000-301-1000 October: -27,300.00	BEGINNING UNENCUMBERED	BA 26-2 GF FOR ICMA FILM DURANT	-3,373,412.00	-27,300.00	-3,400,712.00
001-000-361-4000 October: -36,767.00	MISC. REVENUE	BA 26-2 GF FOR EASEMENT,	-14,652.00	-36,767.00	-51,419.00
001-000-361-4000 October: -200.00	MISC. REVENUE	BA 26-2 GF FOR 1ST QUARTER ANIMAL SHELTER ...	-14,652.00	-200.00	-14,852.00
001-016-550-5062 October: 600.00	JANITORIAL SUPPLIES	BA 26-2 GF FOR OPER ADJ	500.00	600.00	1,100.00
001-016-550-5074 October: -600.00	SAFETY SUPPLIES	BA 26-2 GF FOR OPER ADJ	12,000.00	-600.00	11,400.00
001-019-530-3050 October: 27,300.00	PUBLIC RELATIONS EXP.	BA 26-2 GF FOR ICMA FILM DURANT	1,000.00	27,300.00	28,300.00
001-019-570-7800 October: 36,767.00	FUND RESERVE	BA 26-2 GF FOR EASEMENT,OGE	30.00	36,767.00	36,797.00
001-019-599-0150 October: 200.00	TRSF TO CAPITAL IMPR. FUND	BA 26-2 GF FOR 1ST QTR ANIMAL SHLTER DON...	0.00	200.00	200.00

Adjustment Number	Budget Code	Description	Adjustment Date
BA0000445	FY 25/26 ORIGINAL BUDGET	BA 26-2-17 CI DONATION ANIMAL SHLTER 1ST QTR	10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
015-000-364-0010 October: -200.00	TRSF FROM GENERAL FUND	BA 26-2-17 CI DONATION ANIMAL SHLTER 1ST...	0.00	-200.00	-200.00
015-006-530-3406 October: 200.00	ANIMAL CONTROL FACILITY	BA 26-2-17 CI DONATION ANIMAL SHLTER 1ST...	1,156,708.00	200.00	1,156,908.00

Adjustment Number	Budget Code	Description	Adjustment Date
BA0000446	FY 25/26 ORIGINAL BUDGET	BA 26-2-18 ADJ TRANSFER 1/2%ST REV & 2025A PROJ	10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
016-000-364-0610 October: -14,856,000.00	TRSF FROM 2025A 210-061	BA 26-2-18 ADJ TRANSFER 1/2%ST REV & 2025...	0.00	-14,856,000.00	-14,856,000.00
016-000-364-1160 October: 916,420.00	TRSF FROM 1/2% ST REV. FUND	BA 26-2-18 ADJ TRANSFER 1/2%ST REV & 2025...	-2,508,245.00	916,420.00	-1,591,825.00
016-016-560-5650 October: 14,856,000.00	MAIN STREET PROJECT -2025A	BA 26-2-18 ADJ TRANSFER 1/2%ST REV & 2025...	0.00	14,856,000.00	14,856,000.00
016-019-570-7800 October: -916,420.00	FUND RESERVE	BA 26-2-18 ADJ TRANSFER 1/2%ST REV & 2025...	2,508,245.00	-916,420.00	1,591,825.00

Adjustment Number	Budget Code	Description	Adjustment Date
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Budget Adjustment Register

BA0000447 FY 25/26 ORIGINAL BUDGET BA 26-2-19 DIA EASEMENT FM OGE 10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
020-000-361-4000	MISC. REVENUE	BA 26-2-19 DIA EASEMENT FM OGE	0.00	-6,522.00	-6,522.00
October:					
020-067-570-7400	CONTINGENCY RESERVE	BA 26-2-19 DIA EASEMENT FM OGE	46,471.00	6,522.00	52,993.00
October:					

Adjustment Number **Budget Code** **Description** **Adjustment Date**
 BA0000448 FY 25/26 ORIGINAL BUDGET BA 26-2-20 TRANSFER FM 1/2%ST TO UA BOND SINKING 10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
116-062-599-0160	TRSF TO INFRASTR(016) FUND	BA 26-2-20 TRANSFER FM 1/2%ST TO UA BOND..	2,508,245.00	-916,420.00	1,591,825.00
October:					
116-062-599-2100	TRSF TO UA BONDS SINKING F...	BA 26-2-20 TRANSFER FM 1/2%ST TO UA BOND..	0.00	916,420.00	916,420.00
October:					

Adjustment Number **Budget Code** **Description** **Adjustment Date**
 BA0000449 FY 25/26 ORIGINAL BUDGET BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC 10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
206-000-301-1000	BEGINNING UNENCUMBERED	BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC	-162,682.00	-20,000.00	-182,682.00
October:					
206-065-550-5062	JANITORIAL SUPPLIES	BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC	1,500.00	3,000.00	4,500.00
October:					
206-065-550-5658	TERMINAL BLDG. MAINTENAN...	BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC	25,000.00	30,000.00	55,000.00
October:					
206-065-550-5659	HANGARS BLDG. MAINTENANCE	BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC	25,000.00	-10,000.00	15,000.00
October:					
206-065-570-7200	TRAINING AND TRAVEL	BA 26-2-21 FOR RPLACED TERMINAL 3 HVAC	5,000.00	-3,000.00	2,000.00
October:					

Adjustment Number **Budget Code** **Description** **Adjustment Date**
 BA0000450 FY 25/26 ORIGINAL BUDGET BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2025A 10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
210-000-361-1510	2025A USSTR FINANCING	BA 26-2-22 APPROPRIATE FUND FOR DCUA 20...	0.00	-15,175,000.00	-15,175,000.00
October:					
210-000-364-1160	TRSF FROM 1/2% S.T. REVENUE...	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	-918,420.00	-918,420.00
October:					
210-061-530-3033	LOCAL TRUSTEE FEE-2025A	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	2,000.00	2,000.00
October:					
210-061-580-8700	COST OF ISSUANCE 2025A US...	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	319,000.00	319,000.00
October:					
210-061-580-9500	INTEREST EXPENSE-2025A	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	501,420.00	501,420.00
October:					
210-061-580-9600	PRINCIPAL PAYMENT -2025A ...	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	415,000.00	415,000.00
October:					
210-061-599-0160	TRSF 2025A TO INFRASTRU (01...	BA 26-2-22 APPROPRIATE FUNDS FOR DUCA 2...	0.00	14,856,000.00	14,856,000.00
October:					

Budget Adjustment Register

Packet: GLPKT12363 - 10142025 BA 26-2 16 TO 23

Adjustment Number	Budget Code	Description	Adjustment Date
BA0000451	FY 25/26 ORIGINAL BUDGET	BA 26-2-23 DWRF LIBRARY PENDLETON MONTHLY REV	10/14/2025

Summary Description:

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
350-000-301-1000	BEGINNING UNENCUMBERED	BA 26-2-23 DWRF LIBRARY BEGINN BAL ADJ	-960,250.00	-6,875.00	-967,125.00
October:					
				-6,875.00	
350-000-363-1000	PENDLETON TRUST	BA 26-2-23 DWRF LIBRARY PENDLETON REV C...	-4,129.00	-436.00	-4,565.00
October:					
				-436.00	
350-000-363-1000	PENDLETON TRUST	BA 26-2-23 DWRF LIBRARY PENDLETON REV E...	-4,129.00	-56.00	-4,185.00
October:					
				-56.00	
350-015-550-5605	PENDLETON TRUST MAINT/PR...	BA 26-2-23 DWRF LIBRARY PENDLETON MONT...	354,129.00	492.00	354,621.00
October:					
				492.00	
350-015-570-7400	CONTINGENCY RESERVE	BA 26-2-23 DWRF LIBRARY BEGINN BAL ADJ	575,708.00	6,875.00	582,583.00
October:					
				6,875.00	

Budget Code Summary

Budget	Budget Description	Account	Account Description	Before	Adjustment	After
26	FY 25/26 ORIGINAL BUDGET	001-000-301-1000	BEGINNING UNENCUMBERED	-3,373,412.00	-27,300.00	-3,400,712.00
		001-000-361-4000	MISC. REVENUE	-14,652.00	-36,967.00	-51,619.00
		001-016-550-5062	JANITORIAL SUPPLIES	500.00	600.00	1,100.00
		001-016-550-5074	SAFETY SUPPLIES	12,000.00	-600.00	11,400.00
		001-019-530-3050	PUBLIC RELATIONS EXP.	1,000.00	27,300.00	28,300.00
		001-019-570-7800	FUND RESERVE	30.00	36,767.00	36,797.00
		001-019-599-0150	TRSF TO CAPITAL IMPR. FUND	0.00	200.00	200.00
		015-000-364-0010	TRSF FROM GENERAL FUND	0.00	-200.00	-200.00
		015-006-530-3406	ANIMAL CONTROL FACILITY	1,156,708.00	200.00	1,156,908.00
		016-000-364-0610	TRSF FROM 2025A 210-061	0.00	-14,856,000.00	-14,856,000.00
		016-000-364-1160	TRSF FROM 1/2% ST REV. FUND	-2,508,245.00	916,420.00	-1,591,825.00
		016-016-560-5650	MAIN STREET PROJECT -2025A	0.00	14,856,000.00	14,856,000.00
		016-019-570-7800	FUND RESERVE	2,508,245.00	-916,420.00	1,591,825.00
		020-000-361-4000	MISC. REVENUE	0.00	-6,522.00	-6,522.00
		020-067-570-7400	CONTINGENCY RESERVE	46,471.00	6,522.00	52,993.00
		116-062-599-0160	TRSF TO INFRASTR(016) FUND	2,508,245.00	-916,420.00	1,591,825.00
		116-062-599-2100	TRSF TO UA BONDS SINKING FUND	0.00	916,420.00	916,420.00
		206-000-301-1000	BEGINNING UNENCUMBERED	-162,682.00	-20,000.00	-182,682.00
		206-065-550-5062	JANITORIAL SUPPLIES	1,500.00	3,000.00	4,500.00
		206-065-550-5658	TERMINAL BLDG. MAINTENANCE	25,000.00	30,000.00	55,000.00
		206-065-550-5659	HANGARS BLDG. MAINTENANCE	25,000.00	-10,000.00	15,000.00
		206-065-570-7200	TRAINING AND TRAVEL	5,000.00	-3,000.00	2,000.00
		210-000-361-1510	2025A USSTR FINANCING	0.00	-15,175,000.00	-15,175,000.00
		210-000-364-1160	TRSF FROM 1/2% S.T. REVENUE (1...	0.00	-918,420.00	-918,420.00
		210-061-530-3033	LOCAL TRUSTEE FEE-2025A	0.00	2,000.00	2,000.00
		210-061-580-8700	COST OF ISSUANCE 2025A USSTR	0.00	319,000.00	319,000.00
		210-061-580-9500	INTEREST EXPENSE-2025A	0.00	501,420.00	501,420.00
		210-061-580-9600	PRINCIPAL PAYMENT -2025A BOND	0.00	415,000.00	415,000.00
		210-061-599-0160	TRSF 2025A TO INFRASTRU (016)	0.00	14,856,000.00	14,856,000.00
		350-000-301-1000	BEGINNING UNENCUMBERED	-960,250.00	-6,875.00	-967,125.00
		350-000-363-1000	PENDLETON TRUST	-4,129.00	-492.00	-4,621.00
		350-015-550-5605	PENDLETON TRUST MAINT/PROJ.	354,129.00	492.00	354,621.00
		350-015-570-7400	CONTINGENCY RESERVE	575,708.00	6,875.00	582,583.00
			26 Total:	196,166.00	0.00	196,166.00
			Grand Total:	196,166.00	0.00	196,166.00

Fund Summary

Fund	Before	Adjustment	After
Budget Code:26 - FY 25/26 ORIGINAL BUDGET Fiscal: 2025-2026			
001	-3,374,534.00	0.00	-3,374,534.00
015	1,156,708.00	0.00	1,156,708.00
016	0.00	0.00	0.00
020	46,471.00	0.00	46,471.00
116	2,508,245.00	0.00	2,508,245.00
206	-106,182.00	0.00	-106,182.00
210	0.00	0.00	0.00
350	-34,542.00	0.00	-34,542.00
Budget Code 26 Total:	196,166.00	0.00	196,166.00
Grand Total:	196,166.00	0.00	196,166.00



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Paul Cottrell, Community Development Director
Re: Consider Approval of Mayoral Recommendation to Appoint David Rhynes and Mike Davis to Each Serve An Additional Term on the Board of Adjustments

David Rhynes and Mike Davis have each expressed their desire to serve an additional term on the Board of Adjustments. Community Development staff also recommends their appointment for an additional term.

Council Information / Action Requested

Approval of Mayoral Recommendation to Appoint David Rhynes and Mike Davis to Each Serve An Additional Term on the Board of Adjustments

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Phillip Hightower, Public Works Director
Re: Phillip Hightower - Public Works

Council Information / Action Requested

Informaiton Only

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Ryan Brewer, Parks and Recreation Manager
Re: Ryan Brewer - Parks and Recreation

Council Information / Action Requested
Information Only

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Denis Godfrey, Airport Director
Re: Denis Godfrey - Airport

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Jesse Petty, Police Chief
Re: Chief Jesse Petty - Police Department

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Jeff Langford, Fire Chief
Re: Chief Jeff Langford - Fire Department

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Richard Ezell, Director
Re: Richard Ezell - Emergency Management

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Paul Cottrell, Community Development Director
Re: Paul Cottrell - Community Development

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Robbee Tonubbee, Director
Re: Robbee Tonubbee - Donald W. Reynolds Community Center and Library

Council Information / Action Requested

Information Only

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Dana Trent, Senior Center Coordinator
Re: Dana Trent - Ron Cross Senior Activity Center

Council Information / Action Requested
Information Only.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025

To: Mayor and City Council

From: Pam Polk, City Manager

Re: 1) - Consideration of Approval to Participate in the Purdue Pharma L.P. Bankruptcy Case and GESA Settlement, Including Agreeing to the Terms of the Purdue Bankruptcy, the Release of All Claims Against Purdue, the Sacklers, and Certain Affiliates, and the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements (R-2025-16);

2) - Consideration of Approval to Participate in the Secondary Manufacturer Settlements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, Including Agreeing to the Terms of the Secondary Manufacturer Settlements, the Release of All Claims Against Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, and Certain Affiliates, the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement, and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements (R-2025-17).

Council Information / Action Requested

1) - Approve Resolution R-2025-16 to Participate in the Purdue Pharma L.P. Bankruptcy Case and GESA Settlement, Including Agreeing to the Terms of the Purdue Bankruptcy, the Release of All Claims Against Purdue, the Sacklers, and Certain Affiliates, and the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements;

2) - Approve Resolution R-2025-17 to Participate in the Secondary Manufacturer Settlements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, Including Agreeing to the Terms of the Secondary Manufacturer Settlements, the Release of All Claims Against Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceuticals Industries, Inc., and Zydus Pharmaceuticals, and Certain Affiliates, the Permissible Uses of Monies Received Pursuant to the Settlements for Opioid Abatement, and Designation of an Authorized Representative to Sign the Subdivision Participation Forms to Finalize Participation in These Settlements.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. R-2025-16 Approval of Purdue, Sackler, Sandoz, Small Manufacturer Settlements - Opioid Settlement
2. R-2025-17 Approve Participation in Opioid Settlements with Secondary Manufacturers UNSIGNED

**RESOLUTION OF THE CITY OF DURANT, OKLAHOMA
RESOLUTION R-2025-16**

October 14, 2025

**A RESOLUTION TO APPROVE PARTICIPATION IN SETTLEMENTS WITH
PURDUE PHARMA LP, MEMBERS OF THE SACKLER FAMILY, ALVOGEN,
INC., AMNEAL PHARMACEUTICALS, INC., APOTEX, INC., HIKMA
PHARMACEUTICALS USA, INC., INDIVIOR, INC., MYLAN
PHARMACEUTICALS INC., SUN PHARMACEUTICAL INDUSTRIES, INC.,
AND ZYDUS PHARMACEUTICALS**

WHEREAS, pharmaceutical opioids have harmed the City of Durant, Oklahoma and its citizens.

WHEREAS, Purdue and the Sackler's have agreed to settle claims of political subdivisions in the Purdue bankruptcy plan (the "Plan") in Case Number 7:19-bk-23649, currently pending in the U.S. Bankruptcy Court for the Southern District of New York, and in the Governmental Entities Settlement Agreement ("GESA") which settlement agreement is dated June 17, 2025.

WHEREAS, the City of Durant, Oklahoma is eligible to participate in settlement agreements presented by the generic opioid manufacturers Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals, which are dated April 4, 2025.

THEREFORE, it was duly moved and seconded that the following resolution be adopted.

THEREFORE, BE IT RESOLVED that the City of Durant, Oklahoma hereby authorizes the Mayor, or the Mayor's designee, to execute the Purdue Settlement Participation and Release Forms ("Purdue Participation Forms") contained in the GESA settlement agreement, and agrees to the terms set forth in the Participation Forms, including release of the City of Durant's claims being released in the settlement agreements with Purdue Pharma and the Sackler's.

THEREFORE, BE IT RESOLVED that the City of Durant, Oklahoma hereby authorizes the Mayor, or the Mayor's designee, to execute each of the Settlement Participation and Release Forms ("Participation Forms") contained in the settlement agreements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sandoz, Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals (or to execute a combined Settlement Participation Form for these generic opioid manufacturers electronically), and agrees to

the terms set forth in the Participation Forms, including release of the City of Durant's claims being released in the settlement agreements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sandoz, Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals.

The City of Durant, Oklahoma adopted the above Resolution on the 14th day of October, 2025.

CITY OF DURANT, OKLAHOMA

Mayor Martin Tucker

Dated this 14th day of October, 2025.

ATTEST:

Cynthia J. Price, City Clerk

RESOLUTION OF THE CITY OF DURANT, OKLAHOMA

RESOLUTION # R-2025-17

October 14, 2025

**A RESOLUTION TO APPROVE PARTICIPATION IN SETTLEMENTS WITH
ALVOGEN, INC., AMNEAL PHARMACEUTICALS, INC., APOTEX, INC.,
HIKMA PHARMACEUTICALS USA, INC., INDIVIOR, INC., MYLAN
PHARMACEUTICALS INC., SUN PHARMACEUTICAL INDUSTRIES, INC.,
AND ZYDUS PHARMACEUTICALS**

WHEREAS, pharmaceutical opioids have harmed the City of Durant, Oklahoma and its citizens.

WHEREAS, the City of Durant, Oklahoma is eligible to participate in settlement agreements presented by the generic opioid manufacturers Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals, which are dated April 4, 2025.

THEREFORE, it was duly moved and seconded that the following resolution be adopted.

THEREFORE, BE IT RESOLVED that the City of Durant, Oklahoma hereby authorizes the Mayor, or the Mayor's designee, to execute each of the Settlement Participation and Release Forms ("Participation Forms") contained in the settlement agreements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals (or to execute a combined Settlement Participation Form for these generic opioid manufacturers electronically), and agrees to the terms set forth in the Participation Forms, including release of the City of Durant's claims being released in the settlement agreements with Alvogen, Inc., Amneal Pharmaceuticals, Inc., Apotex, Inc., Hikma Pharmaceuticals USA, Inc., Indivior Inc., Mylan Pharmaceuticals Inc., Sun Pharmaceutical Industries, Inc., and Zydus Pharmaceuticals.

The City of Durant, Oklahoma adopted the above Resolution on the 14th day of October, 2025.

CITY OF DURANT, OKLAHOMA

Mayor Martin Tucker

Dated this 14th day of October, 2025.

ATTEST:

Cynthia J. Price, City Clerk



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Brandi Nelson, HR Manager
Re: Discussion, Consideration, and Possible Action on Resolution R-2025-18 Revising the Wage and Salary Plan.

The attached resolution, R-2025-18, adopts the updated Wage and Salary Plan for hourly and salary non-union positions. The updated salary plan reflects a 9% increase for Grades 1-12 and 14.

Summary of Changes:

- Building and Grounds Maintenance – Established position, title change from Custodian
- Meter Technician – Title change from Meter Reader
- Receptionist – New position approved with FY 2024-2025, added to Grade 3
- Senior Telecommunicator – Title change from Call Taker, added to Grade 5
- Executive Administrative Assistant – Title change from Assistant to the City Manager
- Facilities Maintenance Technician – Position approved with FY 2024-2025, added to Grade 7
- Facilities Maintenance Foreman - Position approved with FY 2024-2025, added to Grade 8
- Safety Coordinator – Moved from Grade 9 (Exempt) to Grade 8 (Non-Exempt)
- 911 Communications Director – Position approved with FY 2025-2026, added to Grade 12
- Parks & Recreation Director – Title change from Parks & Recreation Manager approved with FY 2025-2026, moved from Grade 9 to Grade 11
- Title change for Public Works Department Heads:
 - Landfill Manager to Landfill Superintendent
 - WWTP Manager to WWTP Superintendent
 - Solid Waste Manager to Solid Waste Superintendent
 - Streets Manager to Streets Superintendent
 - Utility Line Manager to Utility Line Superintendent
 - WTP Manager to WTP Superintendent
- Grade 13 – moved Deputy Police Chief and Deputy Fire Chief to Grade 13. Minimum salary increased appropriately to exceed that of the FOP and IAFF union Wage Scales.

Council Information / Action Requested

Adoption of Resolution R-2025-18.

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. R-2025-18
2. Wage and Salary Plan 2025

RESOLUTION NO. R-2025-18

A RESOLUTION UPDATING THE WAGE AND SALARY PLAN FOR NON-COLLECTIVE BARGAINING UNIT EMPLOYEES.

WHEREAS, the City of Durant adopted a Wage and Salary Plan for non-collective bargaining unit employees in 2021 that established wage ranges for salaried and hourly employee positions within the city; and

WHEREAS, the City of Durant Personnel Policy states that there will be periodic review of the salary plan and recommendations for its adjustment will be made to the Mayor and Council as appropriate; and

WHEREAS, the Mayor and Council wish to keep the city's wage and salary plan reasonably up to date with inflation and promote retention of dedicated employees; therefore, the scale has been adjusted to reflect a 9% increase all grades excluding Grade 13 which reflects a comparable increase to the FOP and IAFF union contract Wage Scales; and

WHEREAS, the Mayor and Council have been presented with a revised wage and salary plan for non-collective bargaining employees of the City (Exhibit A), attached hereto and incorporated herein; and

WHEREAS, the Mayor and Council find the Plan to be in the best interest of the City and that the positions and compensations listed therein are appropriate to ensure the needs of the City and services provided are met.

NOW, THEREFORE, be it resolved by the City Council of the City of Durant that the attached Exhibit A are hereby established as wage and salary ranges for the City of Durant.

BE IT FURTHER resolved that the City Manager is authorized to set temporary, part-time, and seasonal wage rates for city employees.

PASSED AND APPROVED by the Durant City Council on this 14th day of October 2025, all changes to the wage and salary plan shall become effective immediately upon approval.

Martin Tucker, Mayor

ATTEST:

Cynthia Price, City Clerk

Exhibit A
Collective Bargaining Unit Wage and Salary Plan

	<u>Minimum</u>	<u>Mid-Range</u>	<u>Maximum</u>
Grade 1	\$13.34	\$16.01	\$18.68
Grade 2 Building and Grounds Maintenance Custodian Firefighter Recruit	\$14.01	\$16.81	\$19.61
Grade 3 Administrative Specialist I Community Center Manager Customer Service Representative Maintenance Worker I Meter Technician Receptionist Refuse Worker Transfer Station Operator	\$15.42	\$18.50	\$21.59
Grade 4 Airport Maintenance Technician Animal Control Officer Library Associate Maintenance Worker II Police Records Specialist Scalehouse Attendant WTP Operator I (new or Class D) WWTP Operator I (new or Class D)	\$16.67	\$20.00	\$23.34
Grade 5 911 Dispatcher Accounting Specialist I Administrative Specialist II Assistant Grants Coordinator Customer Service Representative - Lead Equipment Operator Evidence Technician Fuel Quality and Maintenance Technician HR Specialist I Lab Technician Landfill Driver Mechanic Municipal Court Clerk Permit Technician Refuse Driver Senior Telecommunicator Sign Technician WTP Operator II (Class C) WWTP Operator II (Class C)	\$17.92	\$21.50	\$25.09
Grade 6 911 Supervisor Accounting Specialist II Code Enforcement Officer Code Enforcement Officer/Building Inspector Library/Circulation Supervisor Literacy Program Coordinator Maintenance Worker III Payroll/Benefits Specialist	\$19.24	\$23.09	\$26.94
Grade 7 Executive Administrative Assistant Building Inspector I (no or res cert only)	\$20.88	\$25.06	\$29.23

Crew Leader Facilities Maintenance Technician GIS Technician/911 Addressing Coordinator HR Specialist II IT Technician Pretreatment Coordinator Recreation Events Coordinator** Senior Center Coordinator**			
Grade 8 Parks Foreman Building Inspector II (res & comm) Facilities Maintenance Foreman Safety Coordinator Solid Waste Foreman Streets Foreman Utility Line Foreman WTP Operator III (Class B) WWTP Operator III Class B)	\$22.56	\$27.07	\$31.58
Grade 9 Assistant Finance Director Emergency Management Deputy Director Fleet Maintenance Superintendent Landfill Superintendent Public Information Officer Utility Billing Manager WWTP Superintendent	\$50,750.40	\$60,900.48	\$71,050.56
Grade 10 Grants Coordinator Human Resources Manager Library Director Solid Waste Superintendent Streets Superintendent Utility Line Superintendent WTP Superintendent	\$58,192.92	\$69,831.50	\$81,470.09
Grade 11 City Clerk IT Director Parks & Rec Director	\$67,770.75	\$81,324.90	\$94,879.05
Grade 12 911 Communications Director Airport Director City Planner Economic Development Director Emergency Management Director	\$71,070.18	\$85,284.22	\$99,498.25
Grade 13 Deputy Fire Chief Deputy Police Chief Fire Chief Police Chief	\$119,127.00	\$142,952.40	\$166,777.80
Grade 14 Assistant City Manager City Attorney Public Works Director Treasurer/Finance Director	\$93,132.87	\$111,759.44	\$130,386.02

*Firefighter Recruit pay is based on 112 hours a pay period

** Salaried positions within Grade 7



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Phillip Hightower, Public Works Director
Re: Consider Approval of Resolution Concerning Bridge Inspection Responsibility by Local Government for Compliance with National Bridge Inspection Standards - Bridge Inspection Contracts for April 1, 2026 to March 31, 2028 (R-2025-15)

Staff recommendation is Option 4.

Council Information / Action Requested

Approval of Resolution Concerning Bridge Inspection Responsibility by Local Government for Compliance with National Bridge Inspection Standards - Bridge Inspection Contracts for April 1, 2026 to March 31, 2028 (R-2025-15)

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. R-2025-15 Concerning Bridge Inspection Responsibility by Local Government for COmpliance with National Bridge Inspection Standards UNSIGNED

Resolution R-2025-15

**A Resolution Concerning Bridge Inspection Responsibility
by Local Government for Compliance with
National Bridge Inspection Standards
Bridge Inspection Contracts for April 1, 2026 to March 31, 2028**

WHEREAS, the City of Durant has the responsibility of bridge maintenance and safety inspections.

WHEREAS, the City of Durant has the following options:

- 1) Select one of ODOT's prequalified engineering firms.
- 2) Elect to do bridge safety inspections with your own forces using inspection teams and an oversight engineer *fully qualified* as mandated by the NBIS (National Bridge Inspection Standards).
- 3) Use the same consultant as Bryan County.
- 4) Let ODOT make your selection.

THEREFORE, be it resolved by the City Council of the City of Durant, Oklahoma, that it is their desire to select Option **#4** and choose

Name _____

Address _____

as the engineer responsible for city bridge inspections as approved by the Oklahoma Department of Transportation.

ADOPTED this 14TH day of October, 2025.

BY: _____

Martin Tucker, Mayor

ATTEST:

Cynthia J. Price, City Clerk



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Phillip Hightower, Public Works Director
Re: 1) Consider Acceptance of Grant Award from the Oklahoma Department of Commerce for the 19496 CDBG-SC 24 in the Amount of \$171,250;
 2) Discussion, Consideration and Possible Action to Adopt the Residential Anti-Displacement and Relocation Assistance Plan Relating to the 19496 CDBG-SC 24 Project

The City has received a grant award notice from the Oklahoma Department of Commerce for the 19496 CDBG-SC 24 in the amount of \$171,250 with a leverage commitment of \$273,053. The program funds are to assist the City of Durant with rehabilitation on sections of University Boulevard from 6th Avenue to Bryan Drive. The program allows for a two-year performance period till September 29, 2026.

Council Information / Action Requested

- 1) Accept Grant Award from the Oklahoma Department of Commerce for the 19496 CDBG-SC 24 in the Amount of \$171,250;
- 2) Adopt the Residential Anti-Displacement and Relocation Assistance Plan Relating to the 19496 CDBG-SC 24 (C-2024-67)

City Staff Information / Action Follow-up, if Council authorizes this action:

Grant Department and staff will complete the grant request for release of fund process for the 19496 CDBG-SC 24 to allow the project to proceed.

ATTACHMENTS:

1. 19496 CDBG-SC Anti-Displacement Plan



THE CITY OF DURANT

RESIDENTIAL ANTI-DISPLACEMENT AND RELOCATION ASSISTANCE PLAN 19496 CDBG-SC 24

The **City of Durant** will undertake a street rehabilitation project funded through the Community Development Block Grant-Small Cities (CDBG-SC) Program. No demolition or conversion of low and/or moderate-income dwelling units is anticipated by the **City of Durant** in conjunction with the activities related with these funds. Under section 104 (d) of the Housing and Community Development Act of 1974, as amended, if such demolition or conversion occurs, before obligating or expending funds that will directly result in such demolition or conversion, the **City of Durant** will make public and submit to the Oklahoma Department of Commerce the following information in writing:

1. A description of the proposed assistance activity;
2. The location on a map and number of dwelling units by size (number of bedrooms) that will be demolished or converted to a use other than as low – and moderate-income dwelling units as a direct result of the assisted activity;
3. A time schedule for the commencement and completion of the demolition or conversion;
4. The location on a map and number of dwelling units by size (number of bedrooms) that will be provided as replacement dwelling units;
5. The source of funding and a time schedule for the provision of replacement dwelling units;
6. The basis for concluding that each replacement dwelling unit will remain a low – and moderate-income dwelling unit for at least ten (10) years from the date of initial occupancy; and
7. Information demonstrating that any proposed replacement of dwelling units with smaller dwelling units is consistent with the housing needs of low – and moderate-income households in the jurisdiction.

If displacement of low and/or moderate-income households occurs in conjunction with the street rehabilitation project funded with CDBG-SC funds, the **City of Durant** will provide relocation assistance as described in 570.606 (b) to each low and/or moderate-income household displaced by the demolition of housing or by the conversion of a low and/or moderate-income dwelling to another use as a direct result of street rehabilitation activities.

Adopted this 14th day of October 2025.

City of Durant, A Municipal Corporation

ATTEST:

Cynthia Price, City Clerk

Martin Tucker, Mayor



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Paul Cottrell, Community Development Director
Re: Consideration and Possible Approval of a Final Plat for Property Located Near Lindenwood Drive for HPH Investors Lindenwood Phase 7.
A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-one (21), Township Six (6) South, Range Nine (9) East of the Indian Meridian, Bryan County, Oklahoma, being more particularly described as follows:
COMMENCING at the Southwest Corner of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section 21; THENCE North 00°19'48" East along the west line of said NW/4 SW/4, a distance of 969.00 feet; THENCE North 89°49'57" East, parallel with the south line of the North Half of the Southwest Quarter (N/2 SW /4) of said Section 21, a distance of 485.55 feet to the most westerly Southwest corner of LINDEN WOOD - PHASE 5, recorded in Book 1639 Page 545 at the Office of the Bryan County Clerk; THENCE North 00°19'48" East along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD -PHASE 5, a distance of 60.00 feet to the Northwest corner of said LINDEN WOOD - PHASE 5, for the POINT OF BEGINNING; THENCE continuing North 00°19'48" East parallel with the west line of the Northwest Quarter of the Southwest Quarter (NW /4 SW /4) of said Section, a distance of 11.18 feet; THENCE North 89°50'02" East, a distance of 157.13 feet; THENCE North 00°19'48" East, parallel with the west line of the NW/4 SW/4 of said Section, a distance of 277.23 feet to the north line of the Southwest Quarter (SW/4) of said Section; THENCE North 89°49'49" East along said north line of the Southwest Quarter (SW/4) a distance of 557.12 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD -PHASE 5, being a northerly corner of said LINDEN WOOD-PHASE 5; THENCE South 00°19'48 West along the west line of said Lot 1, Block 1, being in the West line of said LINDEN WOOD - PHASE 5, a distance 288.43 feet to the north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way) for the southwest corner of said Lot 1, Block 1, and a northerly ell corner of said LINDEN WOOD - PHASE 5; THENCE South 89°49'57" West along said north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way), being in the north line of said LINDEN WOOD - PHASE 5, a distance of 714.25 feet to the POINT OF BEGINNING.

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. CC- Staff Report Lindenwood Phase 7
2. PC2025-07 LINDENWOOD VII - TAC SHEET
3. PC2025-07 LINDENWOOD VII - MAPS
4. PC2025-07 LINDENWOOD VII - LINDEN WOOD PHASE 7 FINAL PLAT
5. PC2025-07 Lindenwoods Phase 7 Final Plat - W Completed & Proposed 251003
6. PC2025-07 LINDENWOOD VII -Warranty Deed - HPH Investors
7. PC2025-07 LINDENWOOD VII -WARRANTY DEED - LINDENWOOD
8. LINDENWOODS PH 7 - PRELIMINARY PLAT and PRELIMINARY SITE PLAN



THE CITY OF DURANT

Office of Community Development

Date: 10-8-25
To: City Council
Case: PC-2025-07
From: Paul Cottrell, Community Development.
Re: Final Plat

Request: Consider a request from the property owner to rezone the property located off Lindenwood’s Drive known as Phase 7.

Current Zoning: R-3

Future Land Use: Mixed Use – Commercial/Residential.

Surrounding Properties:

Direction	Zoning	Use
North	I-1	Storage Units
West	R-1/C-2	Single Family
South	R-3	Single Family
East	R-3	Multi-Family

Applicant: HPH Investments LP

Consideration: Applicant approached staff with the desire to move to Final Plat for Phase 7.

Notifications have been made to the surrounding property owners and at the time of this report staff have not received phone calls or letters of support or protest regarding this rezone request.

Analysis: A final approval for lots 1 & 2 now that the infrastructure is in place and no changes made from preliminary approval.






Planning Commission Recommendation: Staff recommend approval of the final plat with 3 Yes 0 No.

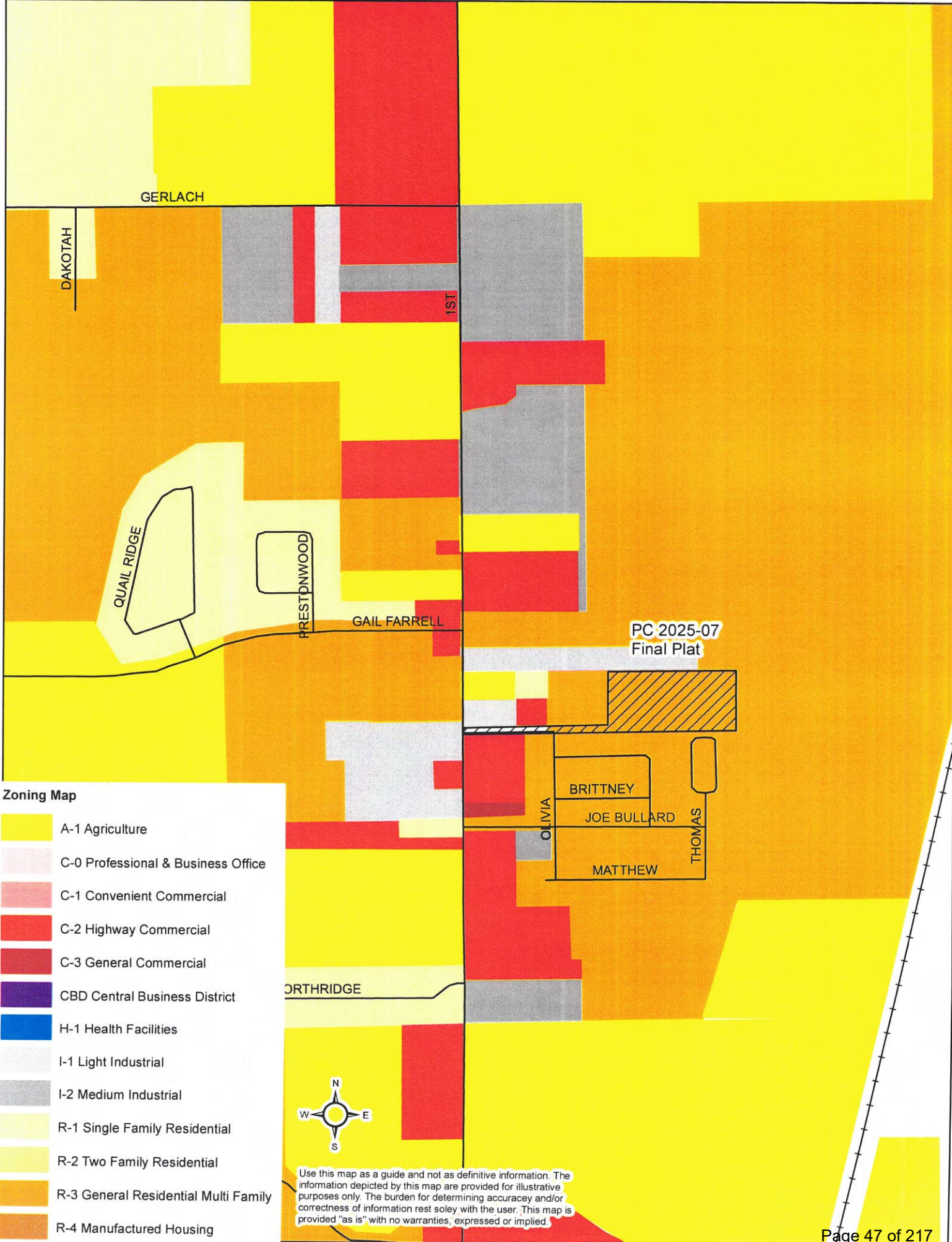
Required Action: Hold a public hearing and recommend approval or denial of the final plat request for property located on Lindenwood’s Drive known as Phase 7. Any specific conditions imposed by the Commission should be read into any approval motion.

Community Development – Sign Off Sheet

Request Type: Final Plat
Case Number: PC2025-07

Applicant: Linden Wood Phase 7

Department	Signature	Date	Comments
Community Development Director: Paul Cottrell			
Public Works Director: Phillip High Tower			
Solid Waste Director: Jared Dillingham			
M & O Supervisor Randy Cantrell		8/5/25	Water & Sewer Already installed
Streets Director: Aaron Saldivar		8/5/25	No Comment
Building Inspector Raven Bates		8/5	No Comment
Building Inspector Taylor Davis			
Fire Marshall Collin Gordon		5 Aug 25	No comment
Address and Mapping Aaron Walkup		8/5	No Comment
OGE: Jeremy Mullins			
ONG Kyle Chilton			



- Zoning Map**
- A-1 Agriculture
 - C-0 Professional & Business Office
 - C-1 Convenient Commercial
 - C-2 Highway Commercial
 - C-3 General Commercial
 - CBD Central Business District
 - H-1 Health Facilities
 - I-1 Light Industrial
 - I-2 Medium Industrial
 - R-1 Single Family Residential
 - R-2 Two Family Residential
 - R-3 General Residential Multi Family
 - R-4 Manufactured Housing



Use this map as a guide and not as definitive information. The information depicted by this map are provided for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



GERLACH



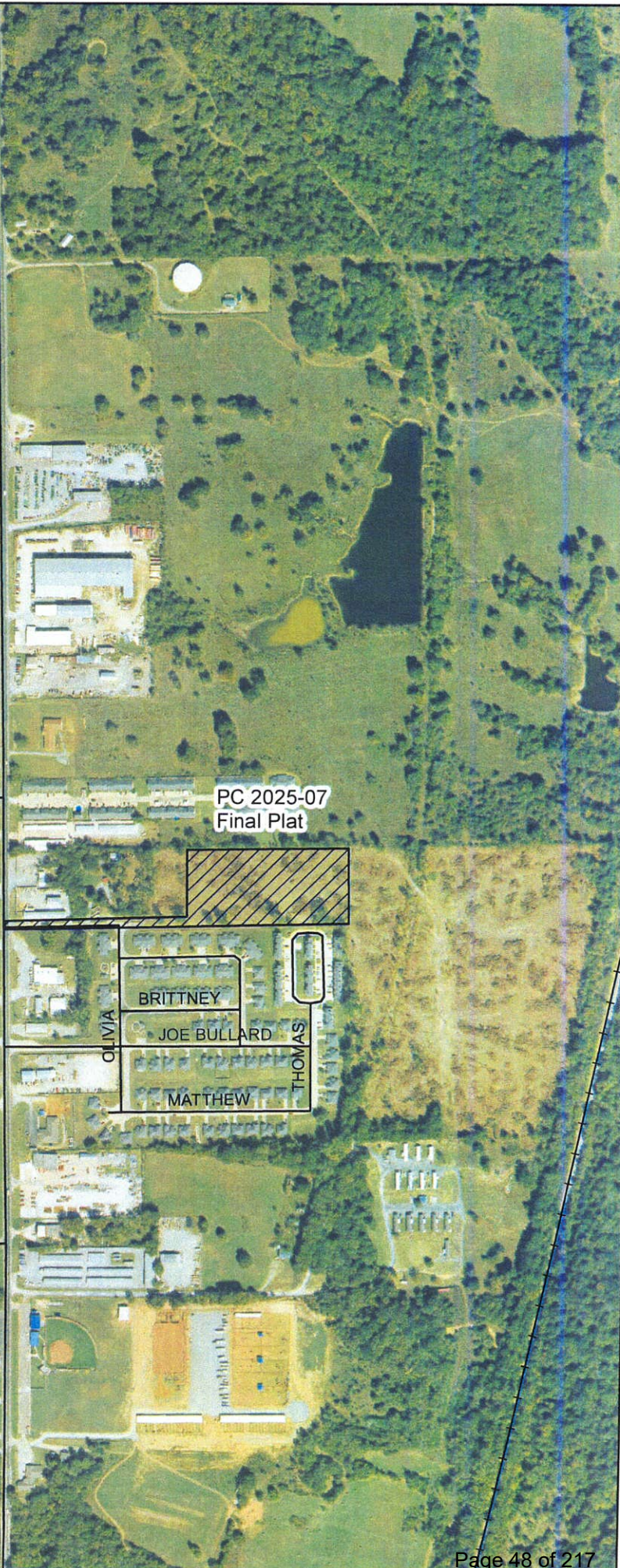
DAKOTAH

QUAIL RIDGE

PRESTONWOOD

1ST

GAIL FARRELL



PC 2025-07
Final Plat

BRITTNEY

JOE BULLARD

MATTHEW

OLIVIA

THOMAS

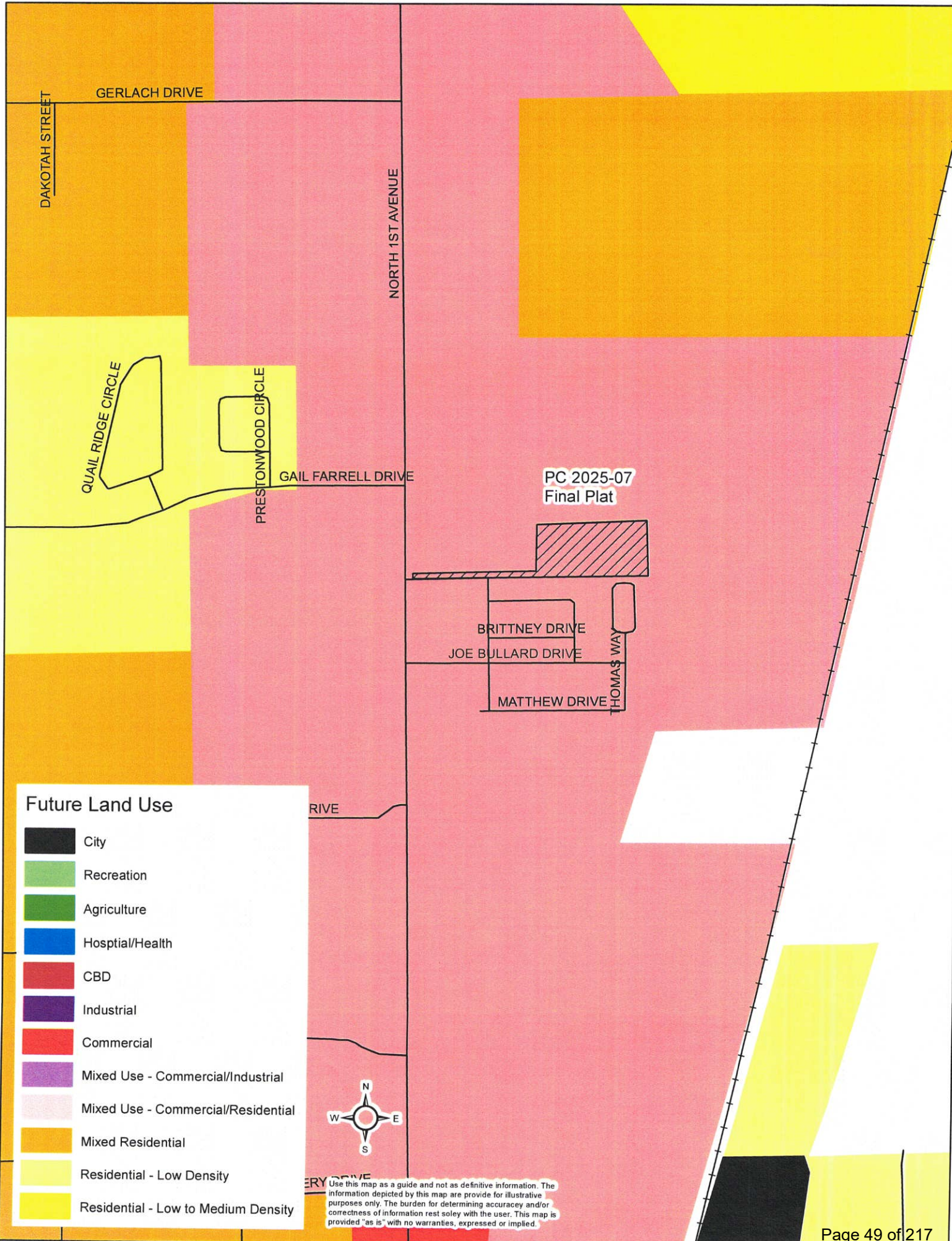


NORTH RIDGE



WILSON

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DAKOTAH STREET

GERLACH DRIVE

NORTH 1ST AVENUE

QUAIL RIDGE CIRCLE

PRESTONWOOD CIRCLE

GAIL FARRELL DRIVE

PC 2025-07
Final Plat

BRITTNEY DRIVE

JOE BULLARD DRIVE

MATTHEW DRIVE

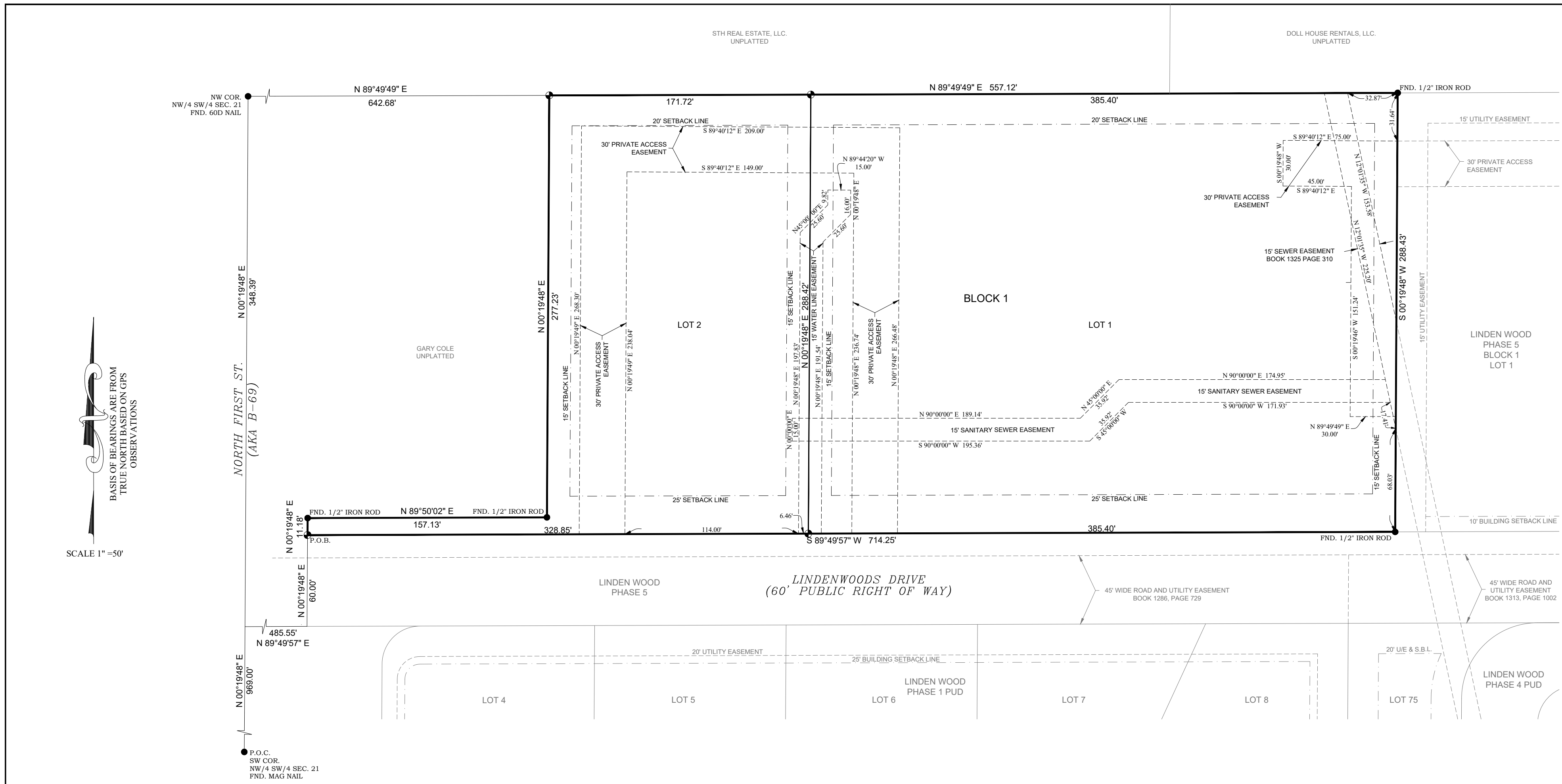
THOMAS WAY

Future Land Use

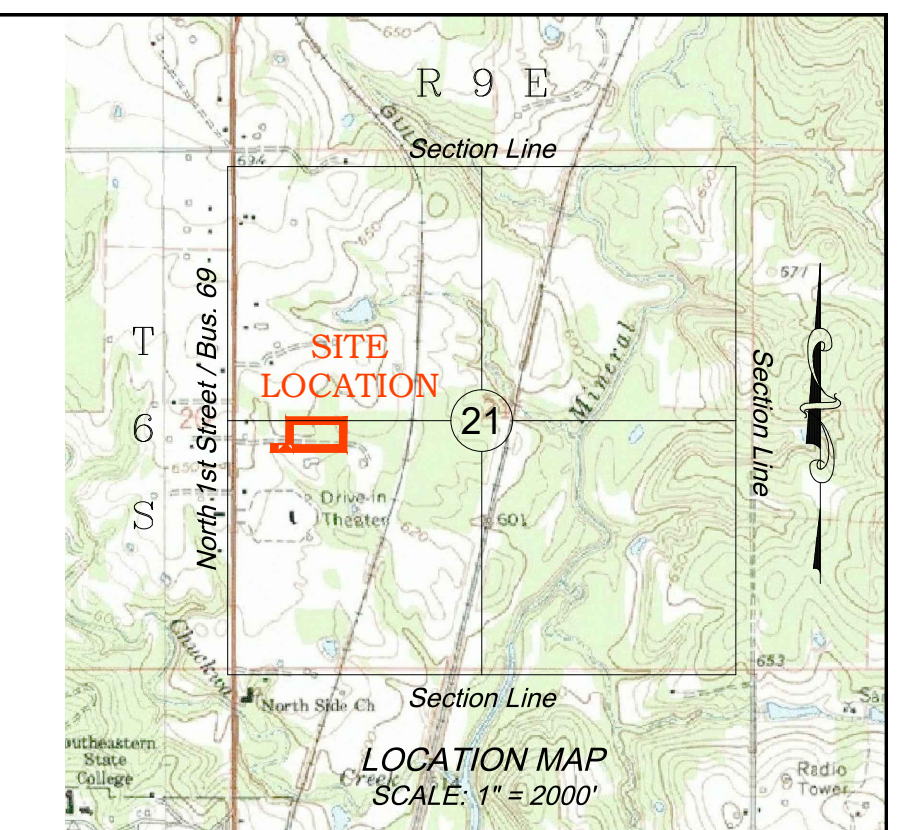
-  City
-  Recreation
-  Agriculture
-  Hospital/Health
-  CBD
-  Industrial
-  Commercial
-  Mixed Use - Commercial/Industrial
-  Mixed Use - Commercial/Residential
-  Mixed Residential
-  Residential - Low Density
-  Residential - Low to Medium Density



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LINDEN WOOD PHASE 7
PART OF SOUTHWEST QUARTER OF SECTION 21,
TOWNSHIP 6 SOUTH, RANGE 9 EAST
OF THE INDIAN MERIDIAN,
DURANT, BRYAN COUNTY, OKLAHOMA



- LEGEND**
- SET 1/2" IRON ROD W/CAP
 - FOUND NOTED MONUMENT
 - SR SET BACK LINE
 - SET BACK LINES
 - UE UTILITY EASEMENT
 - - - EASEMENT LINES
 - LINE NOT TO SCALE

LEGAL DESCRIPTION:
 A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-One (21), Township Six (6) South, Range Nine (9) East, of the Indian Base and Meridian, Bryan County, Oklahoma, being more particularly described as follows:
COMMENCING at the Southwest Corner of the Southwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section 21;
THENCE N 00°19'48" East, along the West line of said NW/4 SW/4, a distance of 969.00 feet;
THENCE North 89°49'57" East, parallel with the south line of the North Half of the Southwest Quarter (N/2 SW/4) of said Section 21, a distance of 485.55 feet to the most westerly corner of LINDEN WOOD - PHASE 5, recorded in Book 1638 Page 545 at the office of the Bryan County Clerk;
THENCE North 00°19'48" East, along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD - PHASE 5, a distance of 60.00 feet to the Northwest corner of said LINDEN WOOD - PHASE 5, said point being the TRUE POINT OF BEGINNING;
THENCE continuing North 00°19'48" East, parallel with the west line of said NW/4 SW/4, a distance of 11.18 feet;
THENCE North 00°19'48" East, a distance of 157.13 feet;
THENCE North 00°19'48" East, parallel with the west line of said NW/4 SW/4, a distance of 277.23 feet to a point in the north line of the Southwest Quarter (SW/4) of said Section 21;
THENCE North 89°49'57" East, along said north line, a distance of 557.12 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD - PHASE 5;
THENCE South 00°19'48" West, along the west line of said Lot 1, Block 1, a distance 288.43 feet to the southwest corner of said Lot 1, Block 1, said point being in the north right-of-way line of said LINDENWOODS DRIVE;
THENCE South 89°49'57" West, along said north right-of-way line of LINDENWOODS DRIVE, a distance of 714.25 feet to the POINT OF BEGINNING.

OWNERS CERTIFICATE & DEDICATION:
 THE UNDERSIGNED HEREBY DEDICATE FOR THE PUBLIC USE OF ALL THE STREETS SHOWN HEREON AND DEDICATE FOR USE BY PUBLIC OR QUASI-PUBLIC ENTITIES PROVIDING ELECTRIC, TELEPHONE, GAS OR WATER UTILITY SERVICES, OR SEWER SERVICES, THOSE EASEMENTS LABELED DRAINAGE EASEMENT, UTILITY EASEMENT, OR BOTH, SHOWN HEREON, ALL IN THE WIDTH, LENGTH, AND LOCATION DESIGNATED ON THE PLAT, AND SUCH EASEMENTS SHALL NOT BE USED FOR INGRESS AND EGRESS BY THE PUBLIC NOR BY ANY OTHER UTILITY SERVICE COMPANY OR PERSONS WHOMSOEVER EXCEPT AS INCIDENTAL TO AND REQUIRED IN CONNECTION WITH THE USE OF THE EASEMENTS FOR THEIR SPECIFIC PURPOSE AS SHOWN ON THE ANNEXED PLAT OF LINDEN WOOD PHASE 7 TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA. THE TRANSACTION OF THIS IRREVOCABLE OFFER OF DEDICATION SHALL BE CONSUMMATED UPON THE EXECUTION OF THE ACCEPTANCE OF DEDICATION BY CITY COUNCIL AS SET FORTH HEREON, FOR THE THE PURPOSE OF PROVIDING AN ORDERLY DEVELOPMENT OF LINDEN WOOD PHASE 7 TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA.

LINDENWOODS VII, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY
 BY: LINDENWOODS VII GP, LLC, AN OKLAHOMA LIMITED LIABILITY COMPANY, ITS MANAGING MEMBER
 BY: DESERT RIDGE INVESTMENTS, INC., ITS MANAGER

BY: RYAN W. HACKETT, PRESIDENT

HPH INVESTORS, LP, AN OKLAHOMA LIMITED PARTNERSHIP
 BY: EXPRESS DEVELOPMENT, INC., ITS GENERAL PARTNER

BY: KRISTINE M. TIBBETTS, PRESIDENT

COUNTY OF SALT LAKE
STATE OF UTAH

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS _____ DAY OF _____, 2025, PERSONALLY APPEARED RYAN W. HACKETT, PRESIDENT OF DESERT RIDGE INVESTMENTS, INC., THE MANAGER OF LINDENWOODS VII, LLC, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME AS HER FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

COUNTY OF COLLIN
STATE OF TEXAS

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS _____ DAY OF _____, 2025, PERSONALLY APPEARED KRISTINE M. TIBBETTS, PRESIDENT OF EXPRESS DEVELOPMENT INC., THE GENERAL PARTNER OF HPH INVESTORS, LP, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME AS HER FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

COUNTY CLERK CERTIFICATE
STATE OF OKLAHOMA
COUNTY OF BRYAN

THIS INSTRUMENT WAS FILED ON THE _____ DAY OF _____, 2025 A.D. AT _____ AND DULY RECORDED IN BOOK _____, PAGE _____

COUNTY CLERK _____

COUNTY TREASURER'S CERTIFICATE
 I, _____, THE DULY ELECTED AND QUALIFIED COUNTY TREASURER OF BRYAN COUNTY, OKLAHOMA, DO HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES UP TO AND INCLUDING THE YEAR 20____ ON THE HERON DESCRIBED PROPERTY KNOWN AS LINDEN WOOD PHASE 7, BEING A PART OF THE SW/4 OF SECTION 21, TOWNSHIP 6 SOUTH, RANGE 9 EAST, BRYAN COUNTY, STATE OF OKLAHOMA AND THE REQUIRED SECURITY HAS BEEN DEPOSITED IN THE OFFICE OF THE COUNTY TREASURER GUARANTEEING PAYMENT OF THE CURRENT YEARS TAXES.
 WITNESS MY HAND THIS _____ DAY OF _____, 2025 A.D.

 COUNTY TREASURER

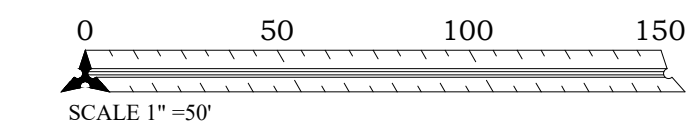
COUNTY OF BRYAN
STATE OF OKLAHOMA
 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE ON THIS _____ DAY OF _____, 2025, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE IDENTICAL PERSON WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME AS HIS/HER FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.
 GIVEN UNDER MY HAND AND SEAL OF OFFICE THE DAY AND YEAR LAST ABOVE WRITTEN.
 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

LICENSED LAND SURVEYOR'S CERTIFICATE
 I, ROBBY L. JOHNSON, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY STATE THAT THIS PLAT OF SURVEY MEETS OR EXCEEDS THE OKLAHOMA MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT
 Robby L. Johnson, R.P.L.S. No. 1539
 Bennett - Morris & Associates, Land Surveying, P.C.
 C.A. No. 5975 (LS)
 P.O. Box 2618, Ada, Oklahoma 74821
 PH. 580-279-1795 Fax 888-662-7778

COUNTY OF PONTOTOC
STATE OF OKLAHOMA
 SUBSCRIBED AND SWORN BEFORE ME, A NOTARY PUBLIC, ON THIS _____ DAY OF _____, 2025.

 MY COMMISSION EXPIRES: _____ NOTARY PUBLIC NO

FLOOD ZONE
 SUBJECT PROPERTY DOES LIE WITHIN DESIGNATED FLOOD ZONE (X) AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY: F.E.M.A. MAP NO. 40013C0190E MAP REVISED JUNE 2, 2011. LOW LYING AND CREEK AREAS MAY BE SUBJECT TO FLOODING.



DURANT CITY PLANNING
COMMISSION APPROVAL

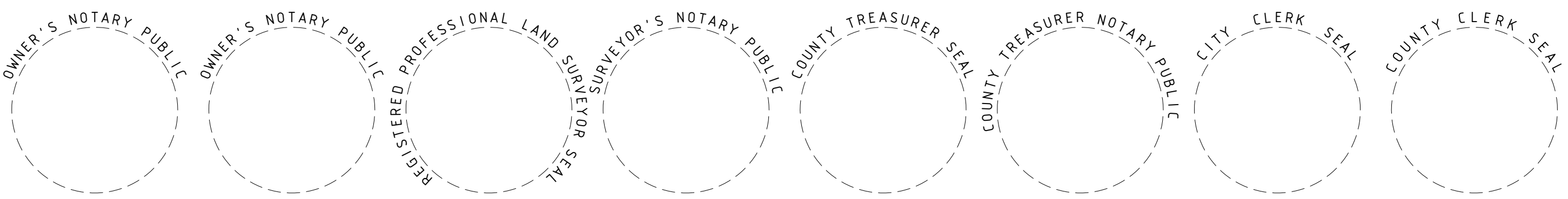
I, _____, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION FOR THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA, HEREBY CERTIFY THAT SAID COMMISSION DULY APPROVED THE PLAT OF LINDEN WOOD PHASE 7 TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA ON THIS _____ DAY OF _____, 2025.
 _____ CHAIRMAN
 _____ SECRETARY

ACCEPTANCE OF DEDICATION
BY CITY COUNCIL

LET IT BE RESOLVED BY THE CITY COUNCIL OF THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA, THAT THE STREETS, AVENUES, AND EASEMENTS FOR PUBLIC USE ON THIS PLAT OF LINDEN WOOD PHASE 7 TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA ARE HEREBY ACCEPTED, ADOPTED BY THE CITY COUNCIL OF THE CITY OF DURANT, BRYAN COUNTY OKLAHOMA, THIS _____ DAY OF _____, 2025.
 _____ SIGNED: _____ MAYOR
 _____ SIGNED: _____ CITY CLERK

CERTIFICATE FOR CITY
OF DURANT ACCEPTANCE
COUNTY OF BRYAN

I, _____, CITY CLERK OF THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA, DO HEREBY VERIFY THAT I HAVE EXAMINED THE RECORDS OF SAID CITY AND FIND THAT ALL PAYMENTS OF UNMATURED INSTALLMENTS UPON SPECIAL ASSESSMENTS HAVE BEEN PAID IN FULL AND THERE ARE NO SPECIAL ASSESSMENT PROCEDURES NOW PENDING AGAINST THE LAND SHOWN ON THE ANNEXED PLAT OF LINDEN WOOD PHASE 7 TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA ON THIS _____ DAY OF _____, 2025.
 _____ SIGNED: _____ CITY CLERK

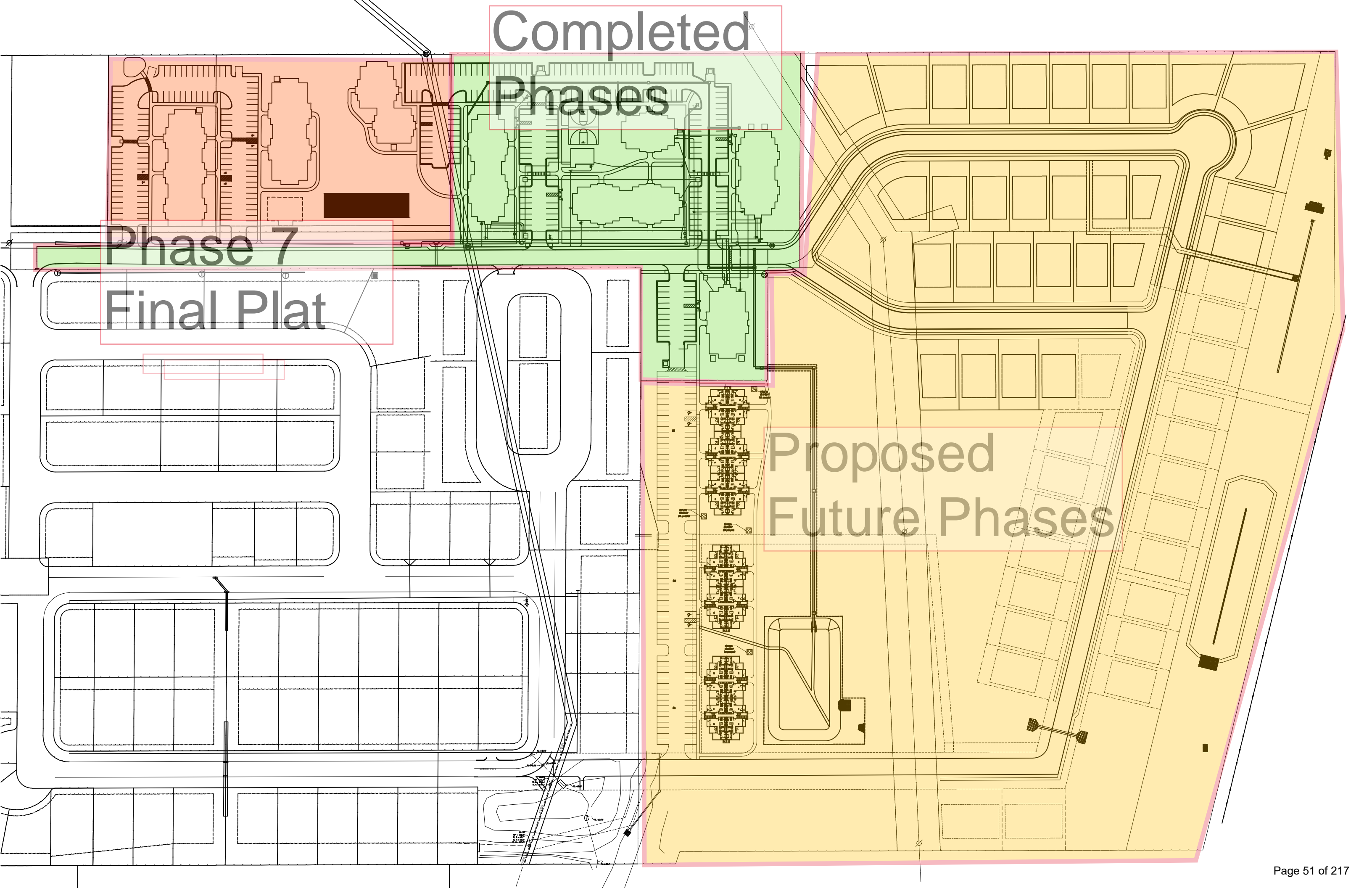


	© COPYRIGHT 2025 Bennett-Morris And Associates Land Surveying, P.C., C.A. No. 5975 (LS)	FINAL PLAT OF LINDEN WOOD PHASE 7 DURANT, OKLAHOMA SURVEYING AND MAPPING BY Bennett-Morris And Associates Land Surveying, P.C. ADA, OKLAHOMA	
	SCALE: 1in = 50ft		
	DATE: 05/19/2025		
	PROJECT NUMBER: LINDEN WOOD PHASE 7		

Completed Phases

Phase 7
Final Plat

Proposed
Future Phases



I-2021-735968 Book 1568 Pg: 761
07/30/2021 8:08 am Pg 0761-0762
Fee: \$ 20.00 Doc: \$ 586.50
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

MODERN

abstract and title



WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS:

That **Dana Haggard and William M Elliott, husband and wife**, party/parties of the first part, in consideration of the sum of Ten and more (\$10.00) Dollars, the receipt of which is hereby acknowledged, do(es) by these presents grant, bargain, sell and convey unto **HPH Investors, LP, a Limited Liability Partnership, 11837 Kingsville Dr. Frisco TX 75035**, party/parties of the second part, his/her/their grantees and heirs, all of the following described real property and premises, situated in Bryan County, Oklahoma, to wit:

See Exhibit A attached hereto and made a part hereof.

together with all the improvements thereon and the appurtenances thereunto belonging and warrant the title to the same.

GRANTOR RESERVES all, if any, which grantor owns interest, in and to all of the oil, gas and all other minerals of every kind or character in and under and that may be produced from the above described lands is hereby reserved by said GRANTOR, together with the right of ingress and egress at all times for the purpose of mining, drilling, exploring, operating and developing said lands for oil, gas and other minerals and all other rights and privileges necessary for the economical operation of said land for the production and removal of said minerals

TO HAVE AND TO HOLD said described premises unto said party/parties of the second part, his/her/their grantees and the heirs and grantees of the survivors, forever, free, clear and discharged of and from all former grants, titles, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature. Exceptions: Easements and rights of ways of record; oil, gas, and other mineral leases of record; prior oil, gas, and other mineral conveyances or reservations of record; restrictive and protective covenants of record; and applicable zoning ordinances.

Revenue Stamps: \$586.50

SIGNED AND SEALED this the 29th day of July, 2021.



Dana Haggard



William M Elliott

STATE OF OKLAHOMA
Bryan County
Documentary Stamps \$ 586.50

NOTARY AND ACKNOWLEDGMENT

STATE OF OKLAHOMA

COUNTY OF BRYAN

I, Jennifer Coley, a Notary Public for the County of Bryan and State of Oklahoma, do hereby certify that Dana Haggard and William M Elliott, husband and wife, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this the 29th of July, 2021.



Notary Public

My Commission Expires: May 24, 2022

(SEAL)

File No.: 201108556



Fidelity National Title
12404 Park Central, Suite 200S
Dallas, TX 75251

319 W. Main Street | Durant, OK 74701 | (580)745-5363
www.ModAbstractTitle.com

EXHIBIT "A"

A tract of land located in the N/2 SW/4 of Section 21, Township 6 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, according to the Government Survey thereof, being more particularly described as follows: Commencing at the Southwest Corner of said N/2 SW/4; thence N00°19'48"E along the West line of said N/2 SW/4, a distance of 969.00 feet; thence N89°49'57"E, a distance of 50.00 feet to the True Point of Beginning, said point being in the East Right-of-Way line of U.S. 69 Business Route; thence N00°19'48"E along said East Right-of-Way line, a distance of 45.00 feet to a point in the North line of the 45 foot wide Road and Utility Easement as recorded in the Office of the Bryan County Clerk in Book 1286, Page 729; thence N89°49'57"E along said North line, a distance of 592.68 feet; thence N00°19'48"E, a distance of 303.41 feet to a point in the North line of said N/2 SW/4; thence N89°49'49"E along said North line, a distance of 1994.46 feet to the Northeast Corner of said N/2 SW/4; thence S00°15'29"W along the East line of said N/2 SW/4, a distance of 423.56 feet to a point in the West Right-of-Way line of the Union Pacific Railway; thence S13°42'22"W along said West Right-of-Way line, a distance of 900.14 feet; thence S89°49'57"W parallel with and 20 feet North of the South line of said N/2 SW/4, a distance of 850.47 feet to a point in the East Right-of-Way line of the Kansas, Oklahoma & Gulf Railway; thence S18°46'36"W along said East Right-of-Way line, a distance of 21.15 feet to a point in the South line of said N/2 SW/4; thence S89°49'57"W along said South line, a distance of 61.43 feet; thence N00°19'48"E, a distance of 969.00 feet; thence S89°49'57"W, a distance of 1460.82 feet to the True Point of Beginning.

I-2021-735968 Book 1568 Pg: 762
07/30/2021 8:08 am Pg 0761-0762
Fee: \$ 20.00 Doc: \$ 586.50
Tammy Reynolds - Bryan County Clerk
State of Oklahoma



I-2024-770087 Book 1683 Pg 929
12/06/2024 10:02am Pg 0929-0931
Fee: \$22.00 Doc: \$150.00
Tammy Reynolds - Bryan County Clerk
State of OK

WARRANTY DEED (INDIVIDUAL)

KNOW ALL MEN BY THESE PRESENTS:

That, **HPH INVESTORS, LP**, an Oklahoma limited partnership, party of the first part, in consideration of the sum of Ten and more (\$10.00) Dollars, the receipt of which is hereby acknowledged, do by these presents grant, bargain, sell and convey unto **LINDENWOODS VII, LLC**, an Oklahoma limited liability company, 11837 Kingsville Drive, Frisco, TX 75035, party of the second part, the following described real property and premises, situated in Bryan County, State of Oklahoma, to-wit:

Tract 1: A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-one (21), Township Six (6) South, Range Nine (9) East of the Indian Meridian, Bryan County, Oklahoma, being more particularly described as follows:

COMMENCING at the Southwest Corner of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section 21;

THENCE North 00°19'48" East along the west line of said NW/4 SW/4, a distance of 969.00 feet; THENCE North 89°49'57" East, parallel with the south line of the North Half of the Southwest Quarter (N/2 SW/4) of said Section 21, a distance of 485.55 feet to the most westerly Southwest corner of LINDEN WOOD - PHASE 5, recorded in Book 1639 Page 545 at the Office of the Bryan County Clerk;

THENCE North 00°19'48" East along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD - PHASE 5, a distance of 60.00 feet to the most westerly Northwest corner of said LINDEN WOOD - PHASE 5;

THENCE North 89°49'57" East along the north right-of-way line of said LINDENWOODS DRIVE, a distance of 328.85 feet to the TRUE POINT OF BEGINNING;

THENCE North 00°19'48" East, parallel with the west line of said NW/4 SW/4, a distance of 288.42 feet to a point in the north line of the Southwest Quarter (SW/4) of said Section 21;

THENCE North 89°49'49" East along said north line, a distance of 385.40 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD - PHASE 5;

THENCE South 00°19'48" West along the west line of said Lot 1, Block 1, a distance 288.43 feet to the southwest corner of said Lot 1, Block 1, said point being in the north right-of-way line of said LINDENWOODS DRIVE;

THENCE South 89°49'57" West along said north right-of-way line of LINDENWOODS DRIVE, a distance of 385.40 feet to the POINT OF BEGINNING.

Revenue Stamps: \$150.00

STATE OF OKLAHOMA
Bryan County
Documentary Stamps \$ 150.00

together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto party of the second part, its heirs and assigns, forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

SIGNED AND SEALED this the 2nd day of December, 2024.

HPH INVESTORS, LP
an Oklahoma limited partnership,
By: Express Development, Inc.,
General Partner

[Signature]
By: Kristine M. Tibbetts, President

STATE OF Texas)
)ss. **ACKNOWLEDGMENT**
COUNTY OF Collin)

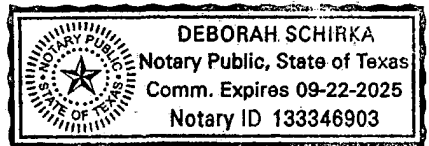
Before me, the undersigned, a Notary Public in and for said County and State, on this ___ day of 12/2/24, 2024, personally appeared Kristine M. Tibbetts, to me known to be the identical person who subscribed the name of the maker thereof to the within and foregoing instrument as President, and acknowledged to me that she executed the same as her free and voluntary act and deed and as the free and voluntary act and deed of such limited partnership, for the uses and purposes therein set forth.

WITNESS my hand and Seal the day and year last above written.

[Signature]
NOTARY PUBLIC

My Commission Expires: 9/22/25

Recorded By: Bryan County Abstract Company, 2024090051
Insurer: First American Title Insurance Company



1-2024-770087 Book 1683 Pg 930
12/06/2024 10:02am Pg 0929-0931
Fee: \$22.00 Doc: \$150.00
Tammy Reynolds - Bryan County Clerk
State of OK

Exhibit to Deed

AFFIDAVIT OF LAND OR MINERAL OWNERSHIP: BUSINESS OR TRUST

STATE OF UTAH)
)
COUNTY OF SALT LAKE)

ss.

TO: THE ATTORNEY GENERAL OF THE STATE OF OKLAHOMA

Before me, the undersigned RYAN W. HACKETT (list legal name and any aliases) (the "Affiant"), who, having been first duly sworn, deposes and states:

- I am eighteen (18) years of age or older and have personal knowledge of the statements made herein.
- I am a/an President (role, such as titled officer or trustee) of Desert Ridge Investments, Inc, the Manager of Lindenwoods VII GP, LLC, the Managing Member of Lindenwoods VII, LLC (legal name, along with any trade or fictitious names, of business, trust, or other legal entity) (referred to herein as the "Entity"). I am duly authorized to record this Affidavit on behalf of the Entity, which is taking title to the real property identified in the Deed to which this Affidavit is attached (the "Property"), and to bind the Entity for the consequences of any false statements in this Affidavit.
- This Affidavit is executed in accordance with and pursuant to 60 O.S. § 121; which provides in part as follows:
No alien or any person who is not a citizen of the United States shall acquire title to or own land in this state either directly or indirectly through a business entity or trust, except as hereinafter provided, but he or she shall have and enjoy in this state such rights as to personal property as are, or shall be accorded a citizen of the United States under the laws of the nation to which such alien belongs, or by the treaties of such nation with the United States, except as the same may be affected by the provisions of Section 121 et seq. of this title or the Constitution of this state. Provided, however, the requirements of this subsection shall not apply to a business entity that is engaged in regulated interstate commerce in accordance with federal law.
- The Entity acquired title to the Property in compliance with the requirements of 60 O.S. § 121 and no funding source was used in the sale or transfer of the Property in violation of section 121 or any other state or federal law.
- If the Entity is a trust, its grantee(s), trustees and all direct and contingent beneficiaries are United States citizens or bona fide residents of the State of Oklahoma. If the Entity is a business, its direct and indirect owner(s) is/are United States citizens(s) or bona fide residents of the State of Oklahoma.
- I acknowledge and understand that making or causing to be made a false statement in this affidavit may subject me to criminal prosecution for perjury and/or subject me and/or the Entity to being liable for actual damages suffered or incurred by any person or other entity as a result or consequence of the making of or reliance upon such false statement.

FURTHER AFFIANT SAYETH NOT.

[Signature]
AFFIANT, individually and as authorized agent of the Entity

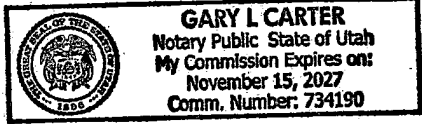
11/26/2024
Date

The foregoing instrument was acknowledged before me this 26th day of NOVEMBER, 2024, by Ryan W. Hackett.

[Signature]
NOTARY PUBLIC

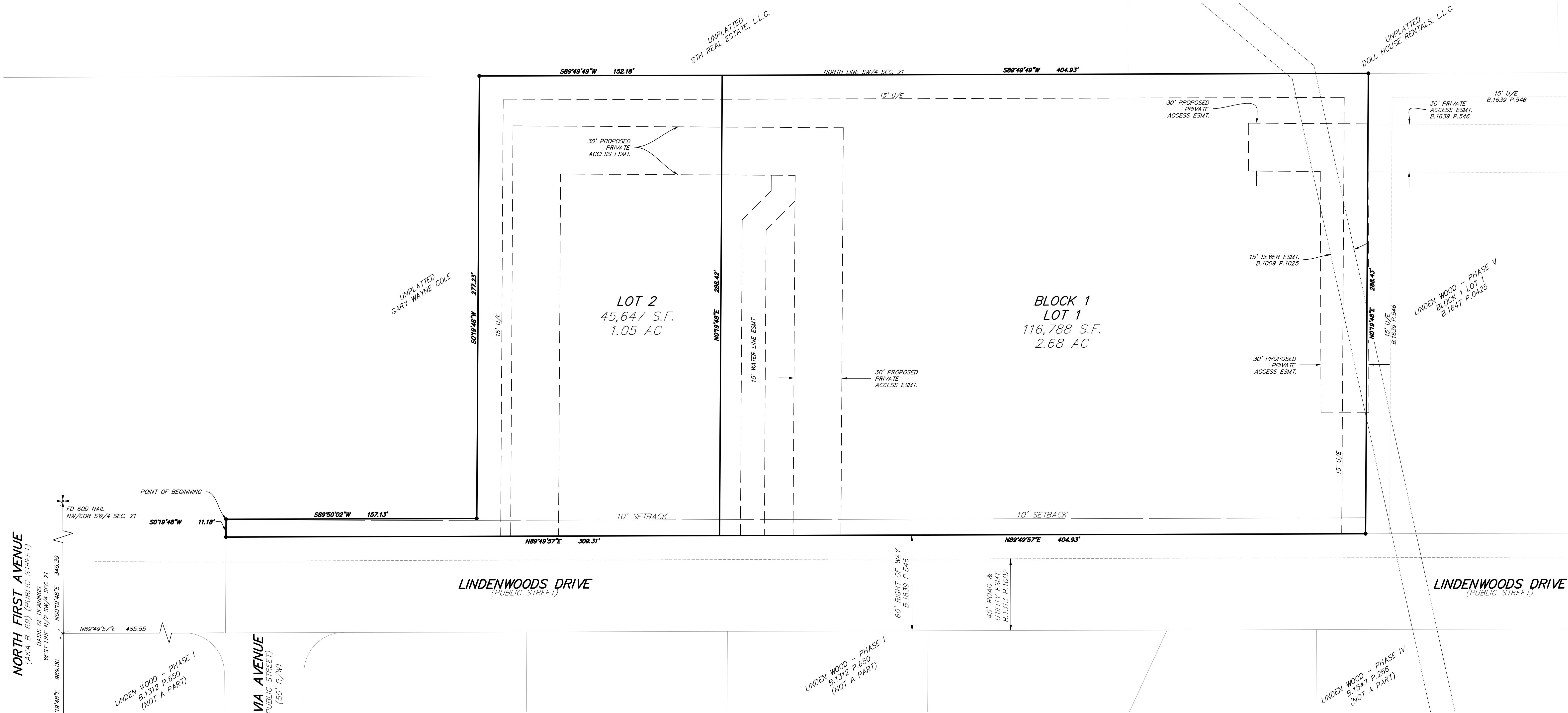
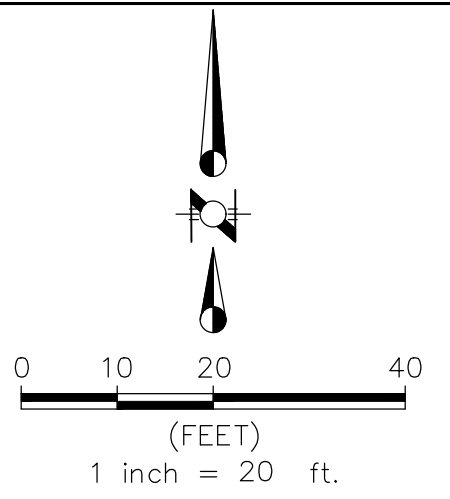
My Commission Expires: 11/15/2027
My Commission Number: 734190

1-2024-770087 Book 1683 Pg 931
12/06/2024 10:02am Pg 0929-0931
Fee: \$22.00 Doc: \$150.00
Tammy Reynolds - Bryan County Clerk
State of OK



PRELIMINARY PLAT OF LINDEN WOOD - PHASE 7

BEING A PART OF THE SW/4 OF SEC. 21, T6S., R.9E., I.M.
BRYAN COUNTY, DURANT, OKLAHOMA



LEGAL DESCRIPTION:

A tract of land located in the North Half of the Southwest Quarter (N/2 SW/4) of Section Twenty-one (21) South, Range Nine (9) East, of the Indian Meridian, Bryan County, Oklahoma, being more particularly described as follows:

COMMENCING at the Southwest Corner of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section Twenty-one (21);

THENCE N 00°19'48" East along the west line of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section, a distance of 969.00 feet;

THENCE North 89°49'57" East parallel with the south line of the North Half of the Southwest Quarter (N/2 SW/4) of said Section, a distance of 485.55 feet to the most westerly corner of LINDEN WOOD - PHASE 5, recorded in Book 1639 Page 545 at the Office of the Bryan County Clerk;

THENCE North 00°19'48" East along the west line of said LINDEN WOOD - PHASE 5, over and across LINDENWOODS DRIVE, a 60 foot right-of-way, dedicated in part by said LINDEN WOOD - PHASE 5, a distance of 60.00 feet to the northwest corner of said LINDEN WOOD - PHASE 5, for the POINT OF BEGINNING;

THENCE continuing North 00°19'48" East parallel with the west line of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section, a distance of 11.18 feet;

THENCE North 89°50'02" East, a distance of 157.13 feet;

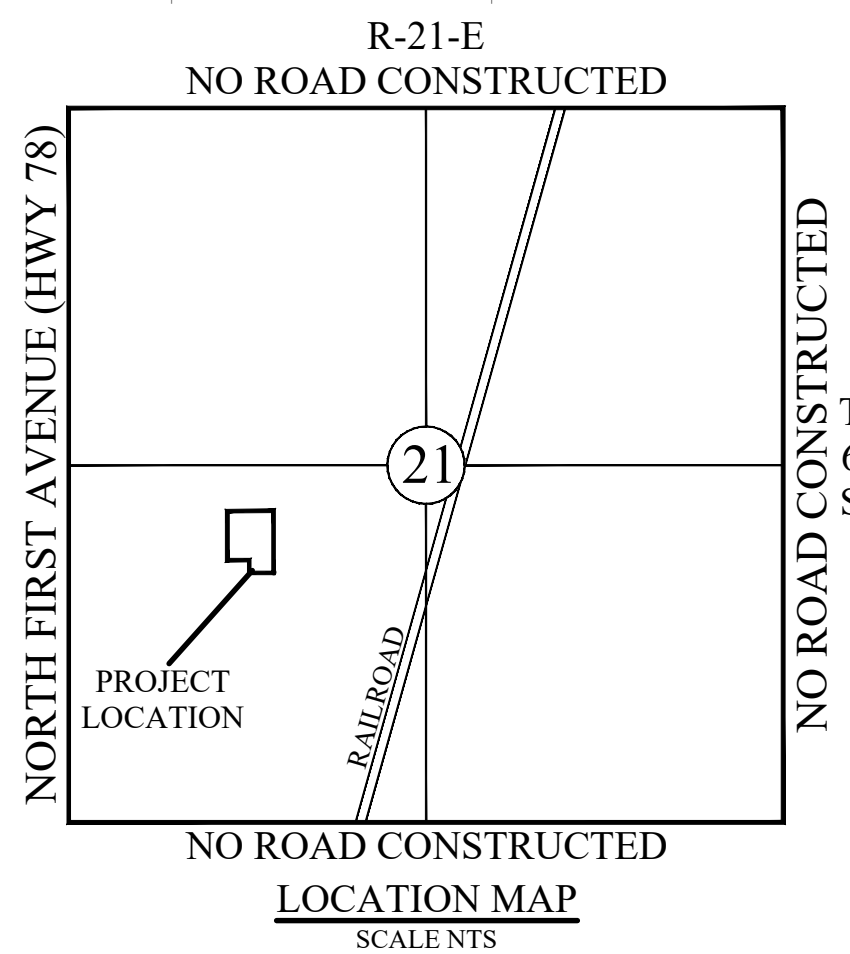
THENCE North 00°19'48" East parallel with the west line of the Northwest Quarter of the Southwest Quarter (NW/4 SW/4) of said Section, a distance of 277.23 to the north line of the Southwest Quarter (SW/4) of said Section;

THENCE North 89°49'49" East along the north line of the Southwest Quarter (SW/4) of said Section, a distance of 557.12 feet to the northwest corner of Lot 1, Block 1, of said LINDEN WOOD - PHASE 5, being a northerly corner of said LINDEN WOOD - PHASE 5;

THENCE South 00°19'48" West along the west line of said Lot 1, Block 1, being in the west line of said LINDEN WOOD - PHASE 5, a distance 288.43 feet to the north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way) for the southwest corner of said Lot 1, Block 1, and a northerly ell corner of said LINDEN WOOD - PHASE 5;

THENCE South 89°49'57" West along the north right-of-way line of said LINDENWOODS DRIVE (a 60' right-of-way), being in the north line of said LINDEN WOOD - PHASE 5, a distance of 714.25 feet to the POINT OF BEGINNING.

Containing 162,435 square feet, or 3.729 acres, more or less.



LEGEND

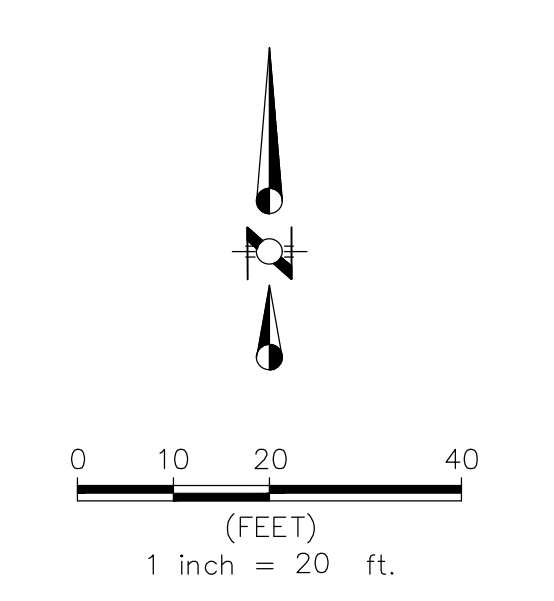
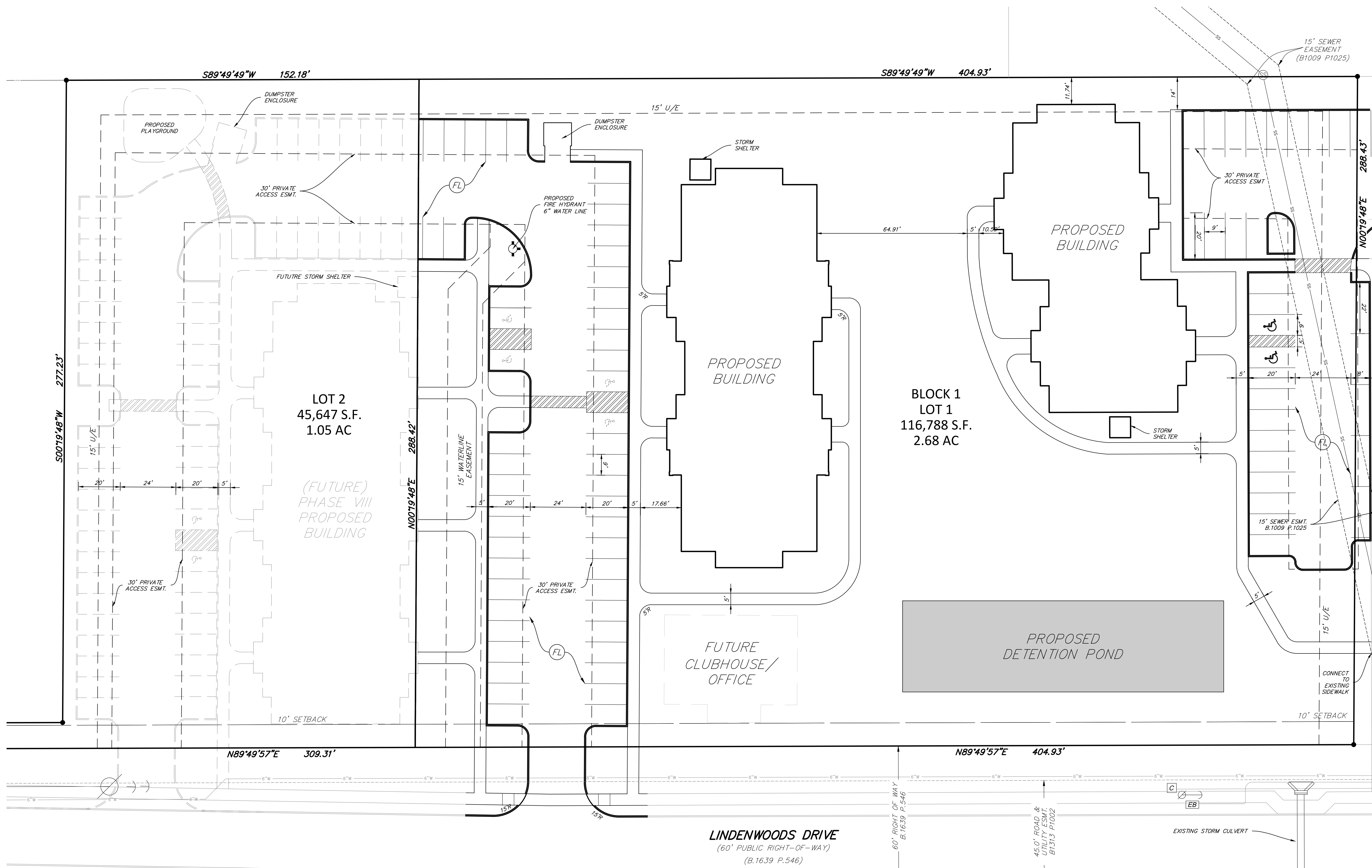
- B. BOOK
- P. PAGE
- U/E UTILITY EASEMENT
- SET 1/2" REBAR
- ⊕ W.C.A. 5975 CAP
- ⊕ SECTION CORNER

FLOOD ZONE
Subject property fully lies within Flood Zone X, Areas determined to be outside the 0.2% annual chance floodplain, per FEMA Map Number 40013C0190U, with a revised date of June 2, 2011.

RLG CONSULTING ENGINEERS					
12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243 5601 BRIDGE STREET #420 FORT WORTH, TX 76112 WWW.RLGINC.COM TBPE FIRM REG. F-493					
PRELIMINARY PLAT					
LINDENWOODS MULTI-FAMILY					
PHASE VII					
DEVELOPMENT SERVICES					
CITY OF DURANT, BRYAN COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	12/13/2023	2443	003	

2024/01/20 10:00 - Shannon 12413003 Lindenwoods Multi-Family Phase VII - Project Drawings/PLAT PLAN - 2/2/2024 10:50:08 AM - Nwd

2024/12/13 10:00 - Sherman 14443.003 Lindenwoods Multi-Family Phase VII - Project Drawings 001.00 SITE PLAN - 7/2/2024 8:36:39 AM



LEGEND

--- PROPOSED EASEMENT

⊕ PROPOSED FIRE LANE

RLG CONSULTING ENGINEERS 12001 N. CENTRAL EXPRESSWAY #300 DALLAS, TX 75243 5601 BRIDGE STREET #420 FORT WORTH, TX 76112 WWW.RLGINC.COM TBPE FIRM REG. F-493					
LINDENWOODS VII AND VIII SITE PLAN LINDENWOODS MULTI-FAMILY PHASE VII DEVELOPMENT SERVICES CITY OF DURANT, BRYAN COUNTY, TEXAS					
REVIEW	DRAWN	DATE	FILE	NUMBER	SHEET
RLG	RLG	12/13/2023	2443	003	C0.01



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Paul Cottrell, Community Development Director
Re: Consideration and Possible Approval of a Conditional Use Permit for Property Located at 109 West Lost Street and More Particularly Described as:
Lots 1 and 2 and the East 40 feet of Lot 3 and Lot 11 less the West 3 feet thereof, in Block 196B, City of Durant, Bryan County, Oklahoma, according to the Official Plat thereof.

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. CC- Staff Report Blue Stem Ventures LLC Oct 2025
2. PC2025-13 TAC SHEET
3. PC2025-13 MAPS- BLUESTEM VENTURES LLC
4. PC2025-13 PUBLIC PARKING - BLUESTEM VENTURES LLC
5. PC2025-13 SITE MAP - SHOWS WALL FOR KITCHEN SPACE



THE CITY OF DURANT

Office of Community Development

Date: 10-8-2025
To: City Council
Case: PC-2025-13
From: Paul Cottrell, Community Development.
Re: Conditional Use Permit

Request: Consider a request from the property owner for a CUP at the property located at 109 W Lost Street
Current Zoning: I-2 Medium Industrial
Future Land Use: CBD Central Business District

Surrounding Properties:

Direction	Zoning	Use
North	CBD	Multi-use structure
West	CBD	Commercial Businesses
South	C-2	Railroad/ American Legion
East	C-3	Vacant commercial structure

Applicant: Blue Stem Ventures LLC

Consideration: Applicant approached staff with the desire to request a CUP to install a kitchen area to serve food.

Notifications have been made to the surrounding property owners and at the time of this report staff have not received phone calls or letters of support or protest regarding this CUP request.

Analysis: Given the location of the structure parking in the area is very limited outside of street parking on main and public parking offered in area. Staff did feel that being so close to the CBD area including a kitchen and food service would fit with the surrounding businesses. Currently there is no permitted use for a full brewery/restaurant so a CUP would be the best approach.

Planning Commission Recommendation: Recommended approval with a vote of 2 Yes, 1 Abstain.

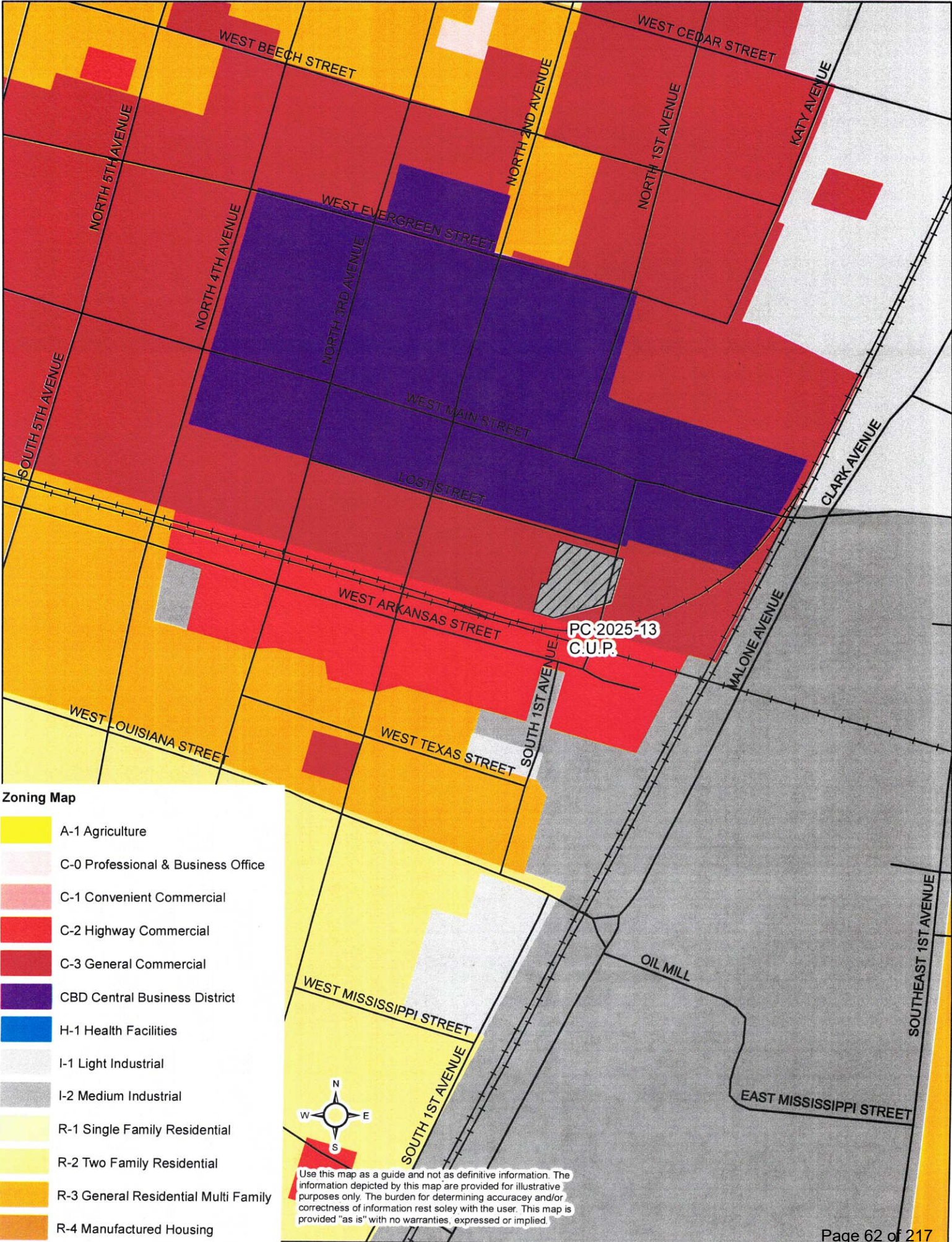
Required Action: Hold a public hearing and recommend approval or denial of the CUP request for property located at 109 W Lost Street. Any specific conditions imposed by the Council should be read into any approval motion.

Community Development – TAC Meeting

Request Type: CUP
Case Number: PC2025-13

Applicant: Bluestem Ventures, LLC

Building Department	Signature	Comments	Date
Community Development Director: Paul Cottrell		Need variance for Parking	9-8-25
Address and Mapping Aaron Walkup			
Building Inspector: Raven Bates or Taylor Davis			
Public Works	Signature	Comments	Date
Public Works Director: Phillip High Tower	<i>Phillip High Tower</i>	no commit	9-8-25
M & O Supervisor Randy Cantrell			
Streets Director: Aaron Saldivar	<i>Aaron Saldivar</i>	No Comment	
Solid Waste Director: Jared Dillingham			
Fire Department	Signature	Comments	Date
Fire Marshall Collin Gordon	<i>Collin Gordon</i>	Will require type I or II hood based on fuel type. will require sprinkler + Fire Alarm modification - may require hood suppression. All must be in accordance with IBC.	08/25
Outside Resources:	Signature	Comments	Date
OGE: Jeremy Mullins			
ONG Kyle Chilton			



- Zoning Map**
- A-1 Agriculture
 - C-0 Professional & Business Office
 - C-1 Convenient Commercial
 - C-2 Highway Commercial
 - C-3 General Commercial
 - CBD Central Business District
 - H-1 Health Facilities
 - I-1 Light Industrial
 - I-2 Medium Industrial
 - R-1 Single Family Residential
 - R-2 Two Family Residential
 - R-3 General Residential Multi Family
 - R-4 Manufactured Housing



Use this map as a guide and not as definitive information. The information depicted by this map are provided for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



WEST BEECH STREET

WEST CEDAR STREET

NORTH 5TH AVENUE

NORTH 2ND AVENUE

NORTH 1ST AVENUE

KATY AVENUE

NORTH 4TH AVENUE

NORTH 3RD AVENUE

WEST EVERGREEN STREET

SOUTH 5TH AVENUE

WEST MAIN STREET

LOST STREET

CLARK AVENUE

WEST ARKANSAS STREET

PC-2025-13
C.U.P.

MALONE AVENUE

WEST LOUISIANA STREET

WEST TEXAS STREET

SOUTH 1ST AVENUE

SOUTH 3RD AVENUE

SOUTH 4TH AVENUE

WEST MISSISSIPPI STREET

OIL MILL

SOUTHEAST 1ST AVENUE

WEST ALABAMA STREET

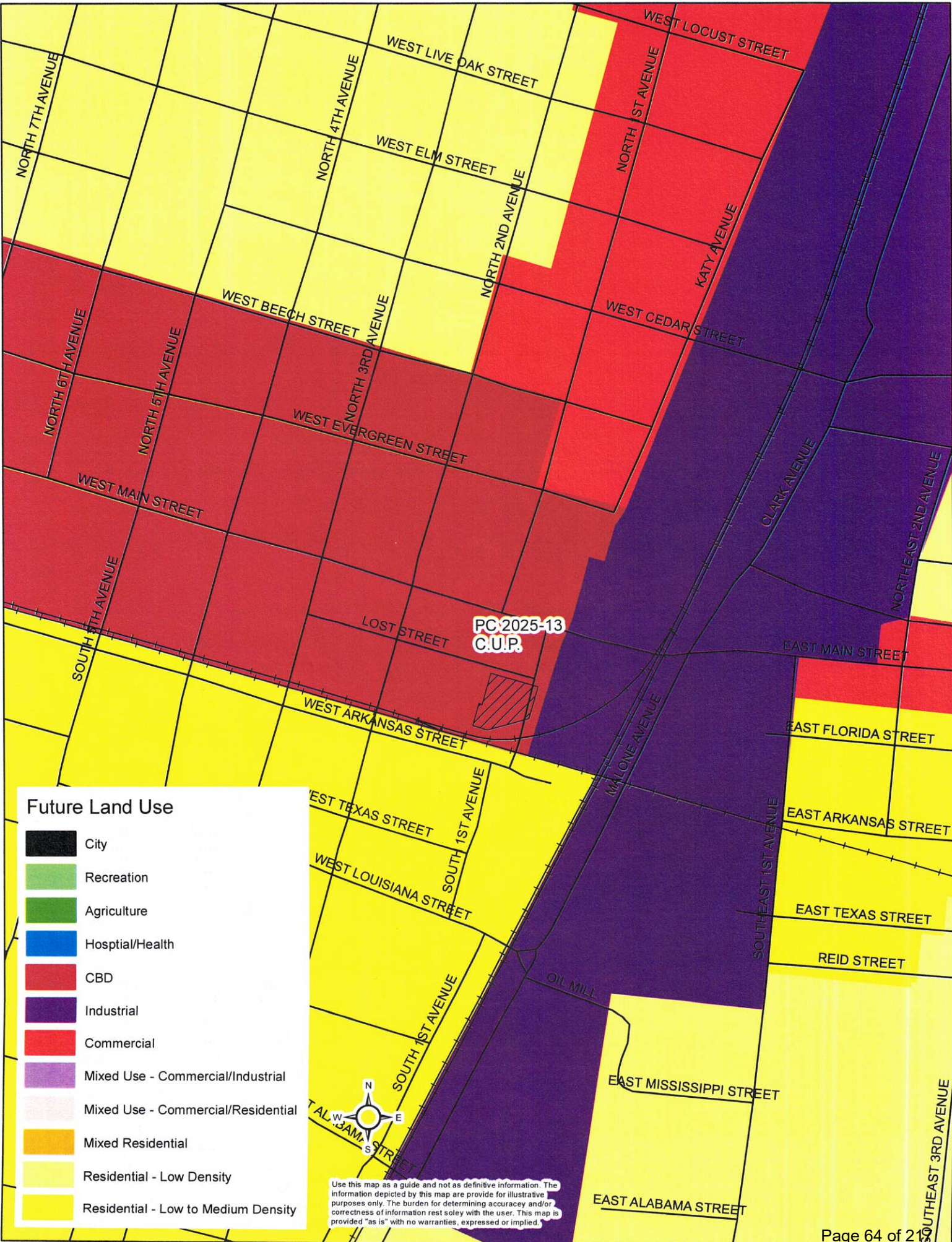
SOUTH 2ND AVENUE

SOUTH 1ST AVENUE

EAST MISSISSIPPI STREET



Use this map as a guide and not as definitive information. The information depicted by this map are provided for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



Future Land Use

- City
- Recreation
- Agriculture
- Hospital/Health
- CBD
- Industrial
- Commercial
- Mixed Use - Commercial/Industrial
- Mixed Use - Commercial/Residential
- Mixed Residential
- Residential - Low Density
- Residential - Low to Medium Density

**PC 2025-13
C.U.P.**

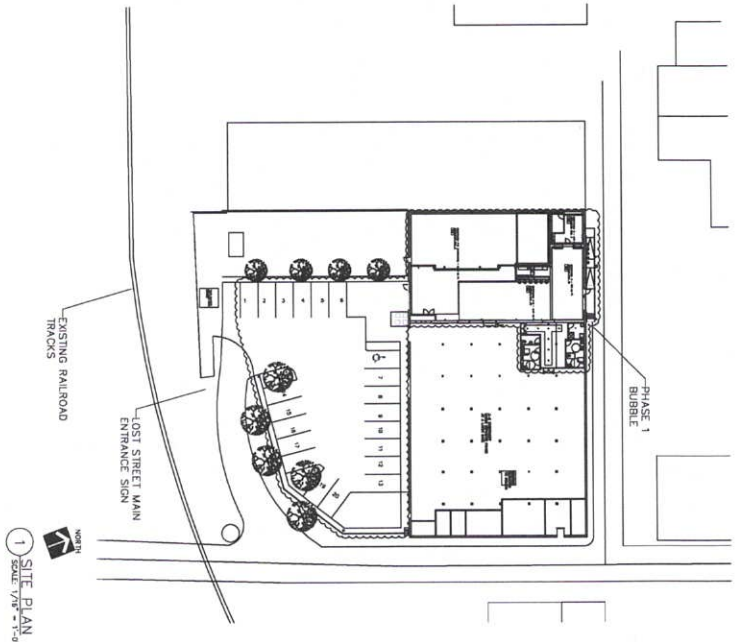
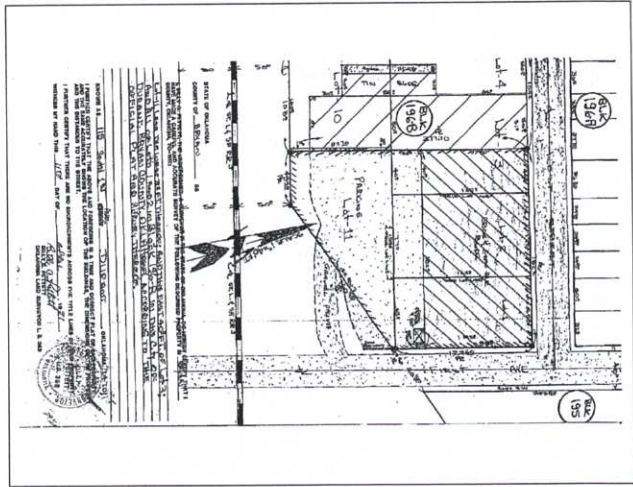


Use this map as a guide and not as definitive information. The information depicted by this map are provide for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.

According to this data, most of downtown's parking is concentrated in privately owned private parking lots, followed closely by publicly owned public parking lots. This relationship creates unique opportunities for public-private partnerships in order to generate additional shared parking assets as the area continues to grow and develop. Opportunities for public-private partnerships are discussed in more detail in Chapter 3 of this report. Figure 2 below displays the current parking inventory in Downtown Durant.

Figure 2. Downtown Durant Current Parking Inventory





1 SITE PLAN
SCALE: 1/8" = 1'-0"

OWNER
Lost Street Brewery
115 Lost Street
Durant, OK 74001

Architect
Mark A. Seibold AIA NCARB AICP
231 W. 34th Street Suite 302
Tulsa, Oklahoma 74103
mobile: (405) 517-6555

CONTRACTOR
Mid Point Construction, Inc.
Thomas Seidel, CCM
1601 W. 10th Street
Durant, OK 74001
(405) 241-0388

SCOPE OF WORK
As a former proprietor of an existing building to include a full production brewery, taproom, space for guests and merchandise area. This first phase of development will include construction that will assist in the construction of the second phase which will be under separate permit. The existing building is fully sprinkled.

Zoning District: I-2
Existing conditions comply with zoning district setbacks.

CODE ANALYSIS Adopted Code - IRC 2018
6,530 GROSS SQ. FT.
5,302 NET OCCUPIED SQUARE FEET
TOTAL PROJECT SQ. FT.

OCCUPANCY
A-2
M-2
1-2
1-2 (Bar and Merch)
79 occupants

FLOORING COUNT

A-2	37 MEN	1/40	1/750
M	75 MEN	1/80	1/750
F-2	35 MEN	1/100	1/100

TOTAL REQUIRED 2 MENS AND 2 WOMENS
TOTAL PROVIDED 2 MENS
11 UNISEX AMBULATORY
THIS EXCEEDS THE CODE MINIMUM.

PARKING AND LOADING:
20 PARKING SPACES PROVIDED
1 ADA Accessible parking space
21 TOTAL parking spaces provided

GENERAL NOTES

THIS PROJECT WILL BE CONVEYED IN TWO PHASES. THE FIRST PHASE WILL INCLUDE THE PRODUCTION BREWERY, TAPROOM, MERCHANDISE CENTER, AND REQUIRED ADA ACCESSIBLE TOILET FACILITIES. ADDITIONALLY THERE WILL BE AN UNISEX AMBULATORY AND A WALK IN CHANGING ROOM WHICH THE TAPROOM IS OPEN.

LEGAL DESCRIPTION
LOT 11 LESS THE WEST 30 FEET THEREOF AND THE EAST 40 FEET OR LOT 3, AND ALL OF LOTS 1 AND 2 IN BLOCK 196.5 IN THE CITY OF DURANT, BEHAVAN COUNTY, OKLAHOMA ACCORDING TO THE ORIGINAL PLAT AND SURVEY THEREOF.

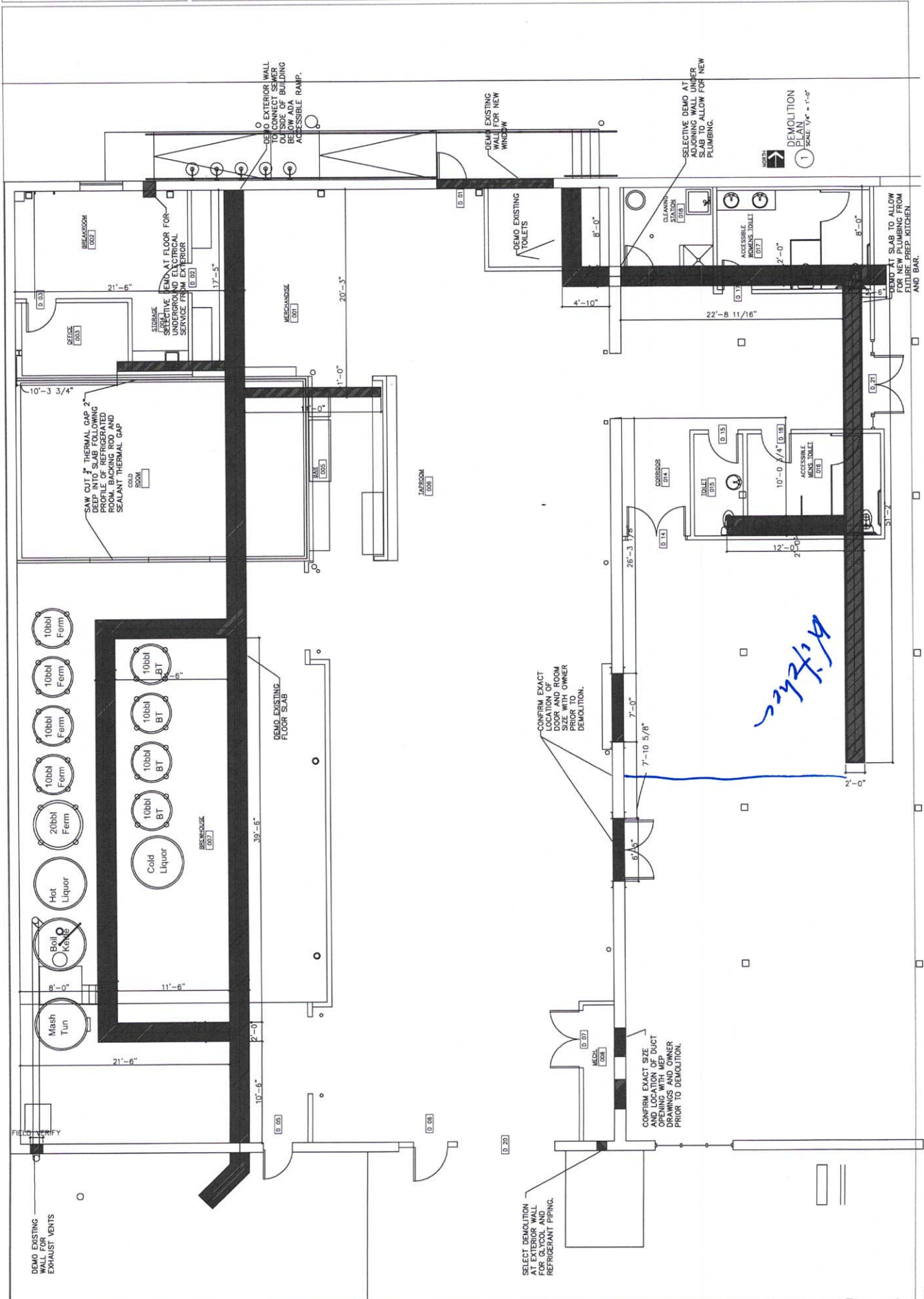
CRAFTON TULL
Mark A. Seibold AIA AICP
231 W. 34th Street Suite 302
TULSA, OK 74103

Lost Street Brewery
Durant, Oklahoma

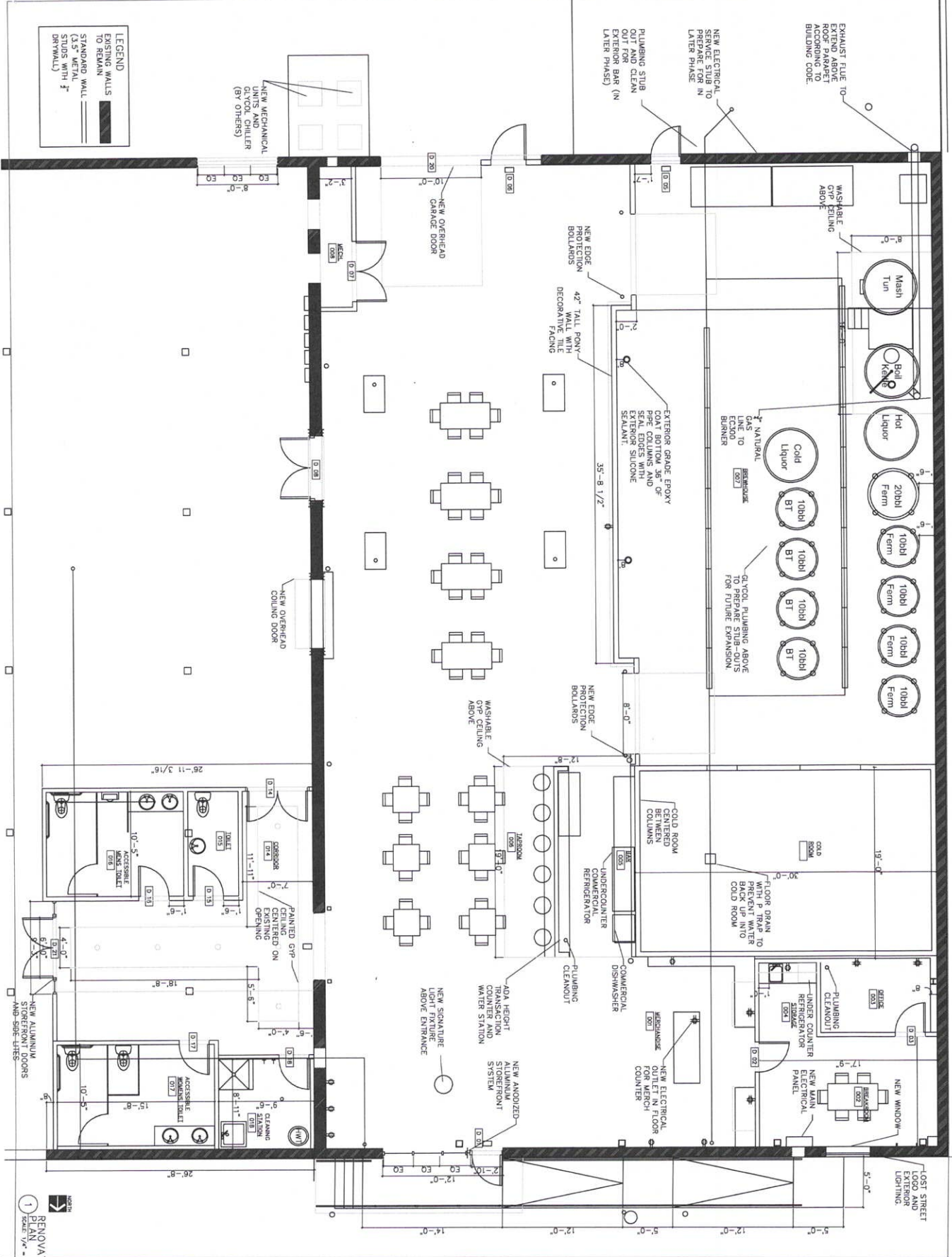
LOST STREET BREWERY

G1

PROJECT NO.: 2017-04
DATE: MAY 21, 2020
SHEET NO.: 03/04



LEGEND
 EXISTING WALLS TO REMAIN
 STANDARD WALL (3.5" METAL STUDS WITH DRYWALL)
 NEW MECHANICAL UNITS AND DUCTS (BY OTHERS)



1 RENOVATION PLAN
 SCALE: 1/8" = 1'-0"

Project No.: 2017-04-01
 Date: JULY 27, 2018
 Sheet No. A1

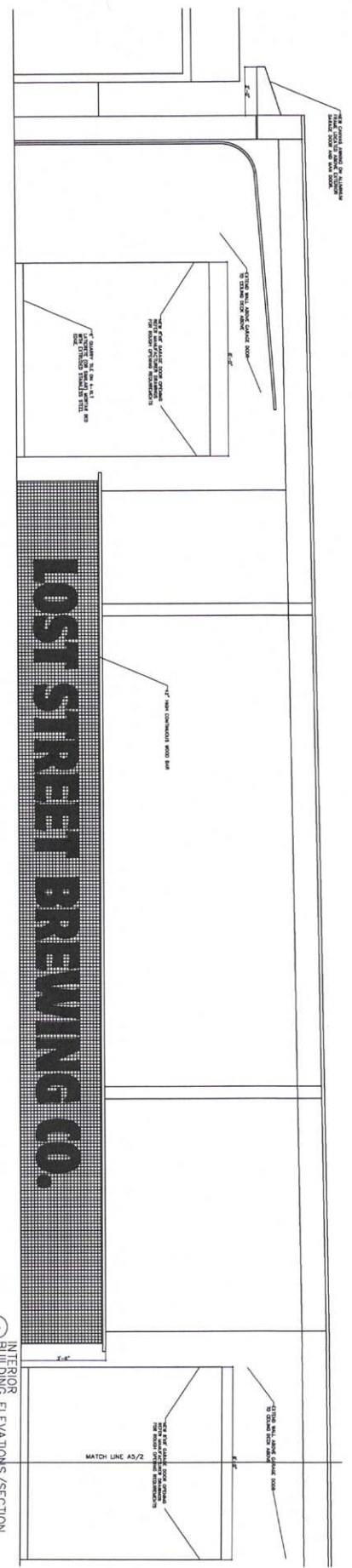
LOST STREET BREWERY FLOOR PLAN
LOST STREET BREWING CO.



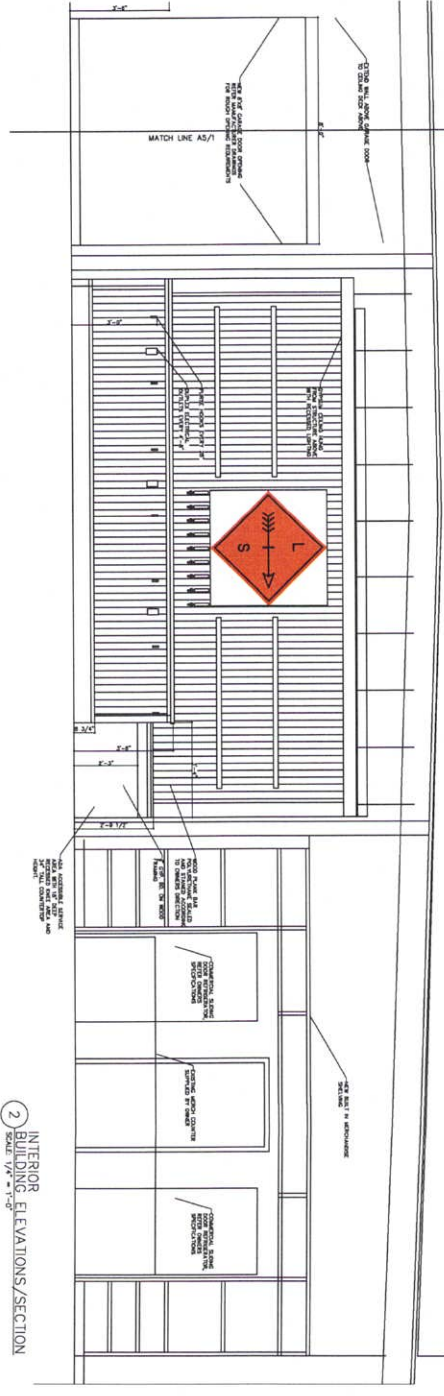
DATE	DESCRIPTION

Lost Street Brewery
 Durant, Oklahoma

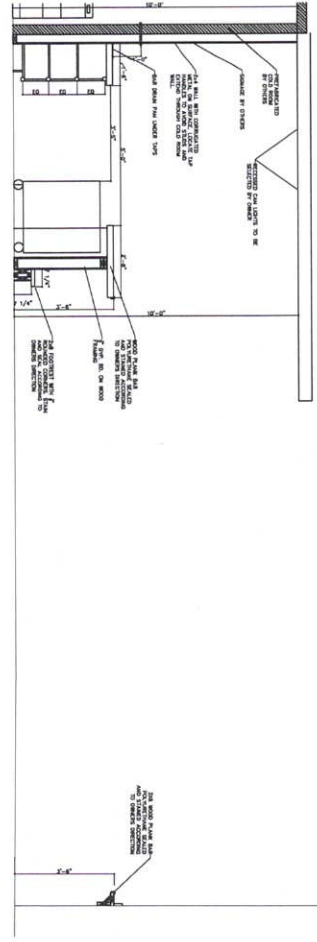
CRAFTON TULL
 Mark A. Seibold AIA AICP
 201 W. 5th Street Suite 302
 TULSA, OK 74103



1 INTERIOR ELEVATIONS/SECTION
SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATIONS/SECTION
SCALE: 1/4" = 1'-0"



3 TAPROOM BAR
INTERIOR SECTION
SCALE: 1/4" = 1'-0"



The City of Durant

[AGENDA_ITEM_DEPARTMENT]

Memorandum

Date: 10/14/2025
To: Mayor and City Council
From: Paul Cottrell, Community Development Director
Re: Consideration and Possible Approval of a Conditional Use Permit CUP for Property Located Near Shady Creek Road and More Particularly Described as:
All that part of the W/2 NW/4 lying West of right-of-way of the K. O. & G. Railway in Section 16, Township 6 South, Range 9 East of the Indian Base and Meridian, Bryan County, State of Oklahoma, according to the official plat and survey thereof.

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:

1. CC- Staff Report Brumley Oct 2025
2. PC2025-16 TAC Sheet
3. PC2025-16 CUP Maps
4. Exhibit B Letter of Authorization
5. Exhibit E Legal Description
6. Exhibit F Zoning Drawings
7. Exhibit G Zoning Narrative Addressing Code
8. Exhibit H_FAA and FCC_OKC031 Durant
9. Exhibit I Search Ring
10. Exhibit J Propagation Maps
11. Exhibit K Photo Simulations
12. Exhibit L Email from City RE CUP and Historic Views
13. Exhibit M Structural Engineer Letter
14. Exhibit N Radio Frequency Emission Compliance
15. Exhibit O Certification of Future Co-locations at Market Value



THE CITY OF DURANT

Office of Community Development

Date: 10-8-2025
To: City Council
Case: PC-2025-16
From: Paul Cottrell, Community Development.
Re: CUP

Request: Consider a request from the property owner for a CUP at the property located at the end of Shady Creek Rd.

Current Zoning: A-1 Agriculture

Future Land Use: Commercial

Surrounding Properties:

Direction	Zoning	Use
North	A-1	Highway
West	A-1	Commercial Business
South	C-2	ODOT Stock Pile
East	A-1	Pasture

Applicant: Brumley

Consideration: Applicant approached staff with the desire to request a CUP to install a new cell tower.

Notifications have been made to the surrounding property owners and at the time of this report staff have not received phone calls or letters of support or protest regarding this CUP request.

Analysis: Current zoning does not allow for a cell tower to be installed. Applicants requested a CUP to move forward with the tower. There are mobile homes occupied in the area, but engineer documents were provided that show a 50-foot fall radius for the tower.




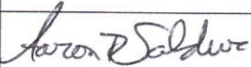

Planning Commission Recommendation: Recommended approval of the CUP with a vote of 3 yes, 0 No.

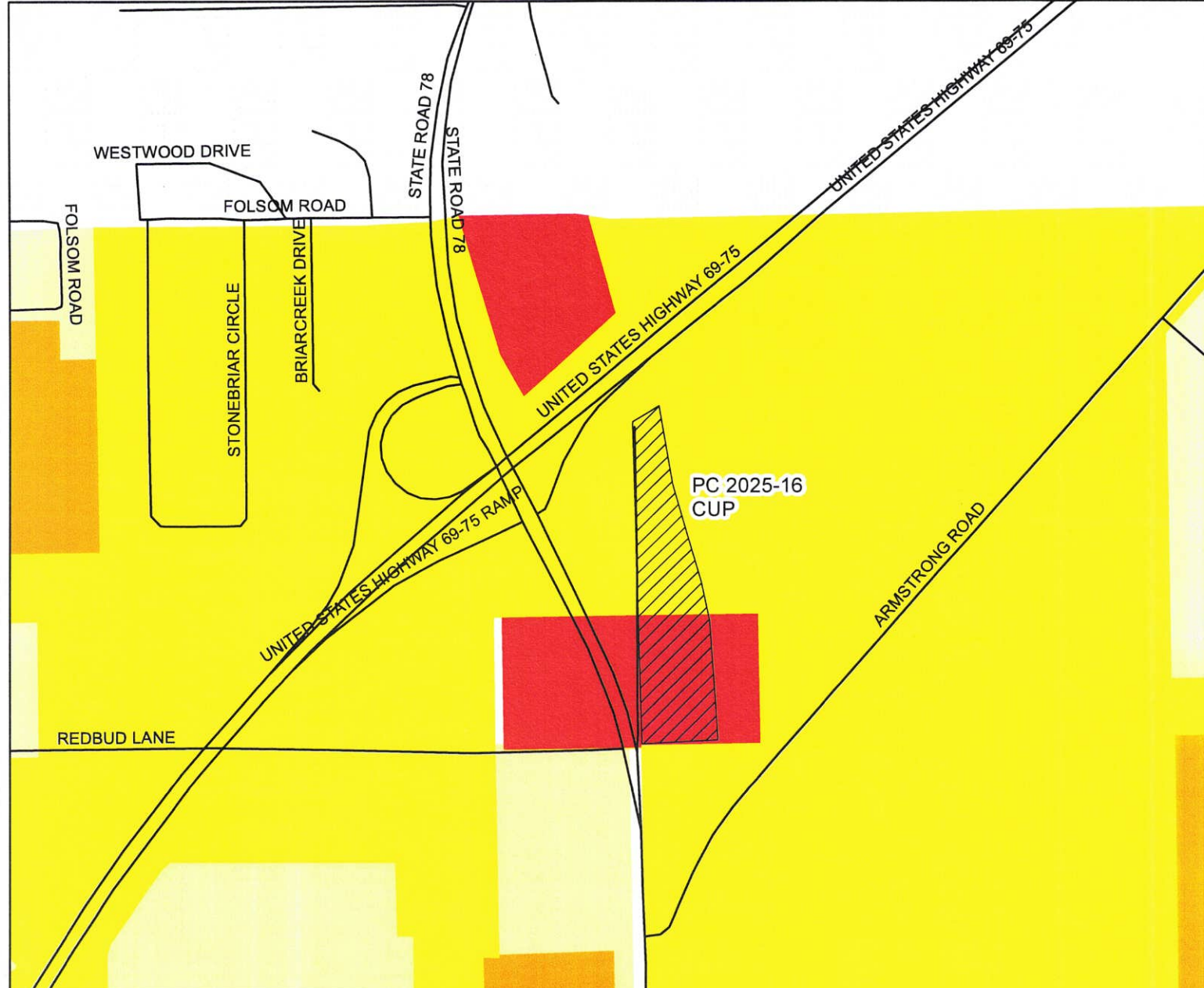
Required Action: Hold a public hearing and recommend approval or denial of the CUP request for property located near the end of Shady Creek Rd. Any specific conditions imposed by the Council should be read into any approval motion.

Community Development – TAC Meeting

Request Type: CUP
Case Number: PC2025-16

Applicant: Brumley

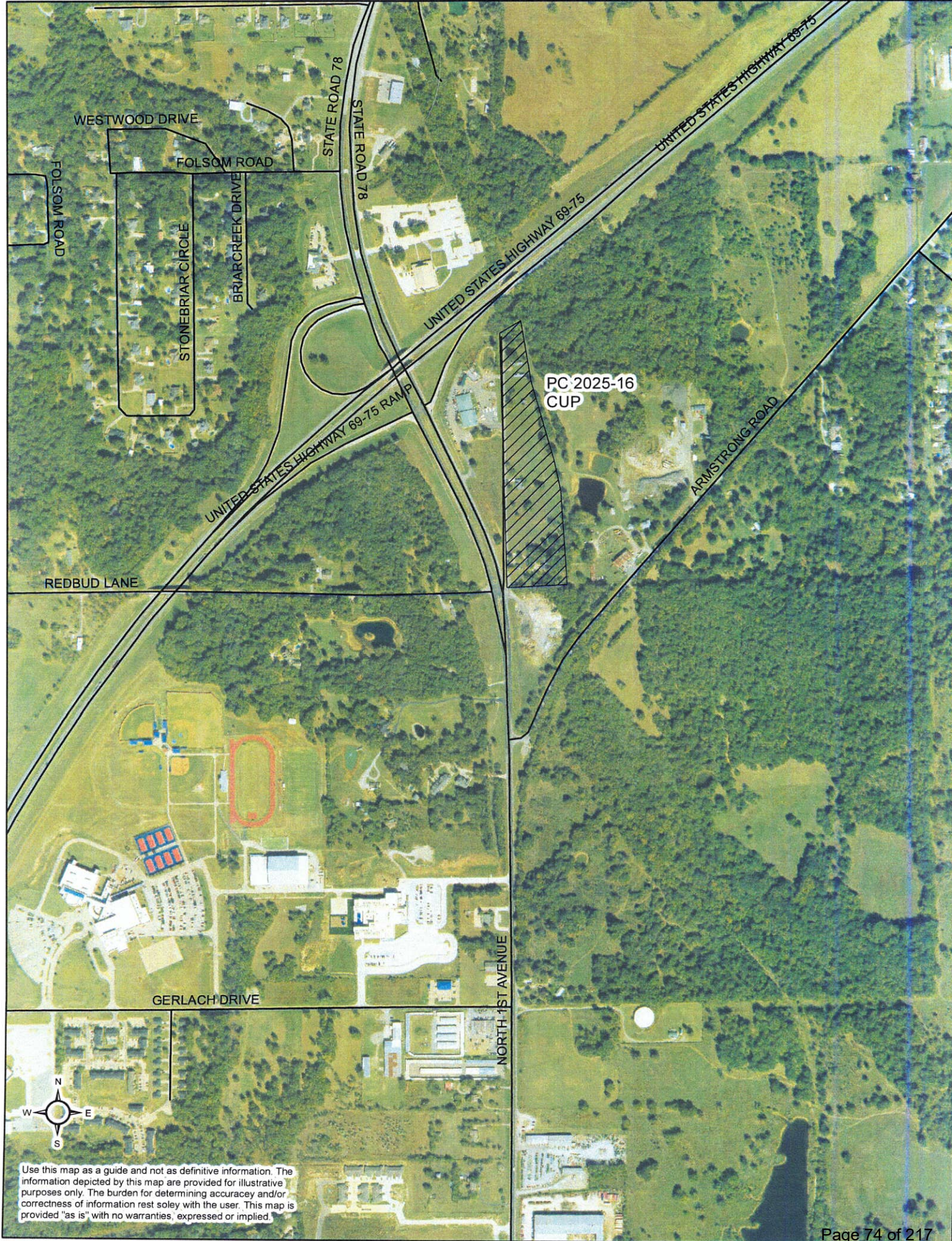
Building Department	Signature	Comments	Date
Community Development Director: Paul Cottrell		Approval Pending Engineer Document Showing full radius	9/08/25
Address and Mapping Aaron Walkup			
Building Inspector: Raven Bates or Taylor Davis		Not allowed, within 100' of Residential structure, (edit) engineer submitted full plan of 50' Radius	9/08/25
Public Works	Signature	Comments	Date
Public Works Director: Phillip High Tower		No Commit	9-08-25
M & O Supervisor Randy Cantrell			
Streets Director: Aaron Saldivar		NO COMMENTS	9-08-25
Solid Waste Director: Jared Dillingham			
Fire Department	Signature	Comments	Date
Fire Marshall Collin Gordon		within 100' of residential Edit 02oct25 recovered approval based on Engineered Collapse Zone	08/25 02oct25
Outside Resources:	Signature	Comments	Date
OGE: Jeremy Mullins			
ONG Kyle Chilton			



- Zoning Map**
- A-1 Agriculture
 - C-0 Professional & Business Office
 - C-1 Convenient Commercial
 - C-2 Highway Commercial
 - C-3 General Commercial
 - CBD Central Business District
 - H-1 Health Facilities
 - I-1 Light Industrial
 - I-2 Medium Industrial
 - R-1 Single Family Residential
 - R-2 Two Family Residential
 - R-3 General Residential Multi Family
 - R-4 Manufactured Housing



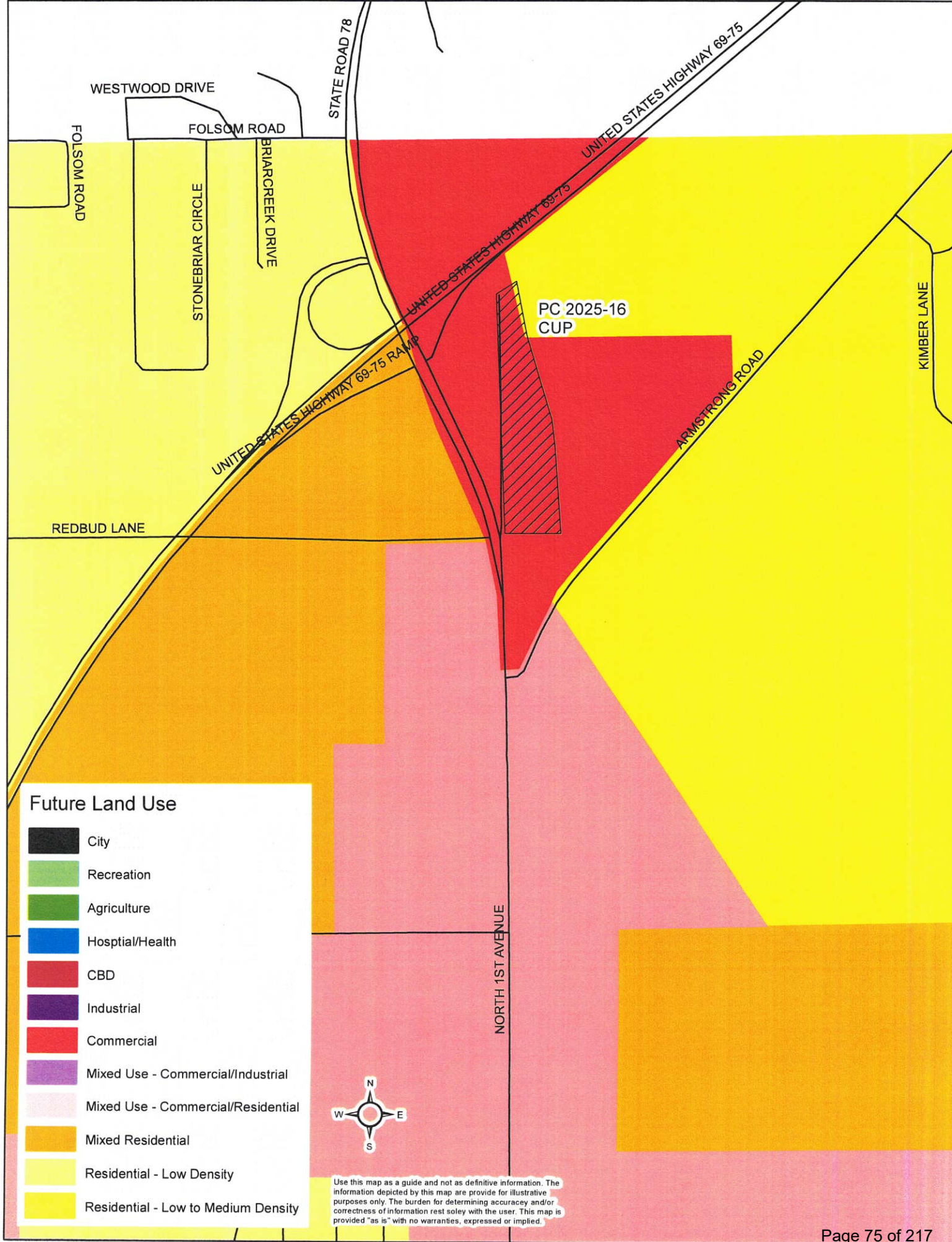
Use this map as a guide and not as definitive information. The information depicted by this map are provided for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



PC 2025-16
CUP



Use this map as a guide and not as definitive information. The information depicted by this map are provided for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



- ### Future Land Use
- City
 - Recreation
 - Agriculture
 - Hospital/Health
 - CBD
 - Industrial
 - Commercial
 - Mixed Use - Commercial/Industrial
 - Mixed Use - Commercial/Residential
 - Mixed Residential
 - Residential - Low Density
 - Residential - Low to Medium Density



Use this map as a guide and not as definitive information. The information depicted by this map are provide for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.

Exhibit B

Letter of Authorization (LOI)

LETTER OF AUTHORIZATION

APPLICATION FOR CUP, BUILDING AND ELECTRICAL PERMIT

STATE OF Oklahoma)
COUNTY OF Bryan) ss:

With this letter, **Huel and Suzanne Brumley**, authorizes you to recognize agents with **CitySwitch, Broadus Services and Wireless of Things**, as its agents, and acting on its behalf, may sign for development applications, waivers and requests, and permits for constructions in relation to a new cell tower with the address of **314 Shady Creek Road, Durant OK 74701**, and by its signature, Huel and Suzanne Brumley recognizes and approves these actions and willfully accepts responsibility as the owner of this project.

BY Huel Brumley
NAME: Huel Brumley
ITS: Owner

BY Suzanne Brumley
NAME: Suzanne Brumley
ITS: Owner

Sworn to and subscribed before me, a Notary Public in and for said State, this 28th day of August, 2025.

TERRI ODUM
Notary Public



Exhibit E

Legal Description

The legal description in metes and bounds format for the parent parcel, the proposed tower lease area, and the 30-foot access, fiber, and utility easement are provided on Sheet 2 of the attached Survey. A copy of the same legal descriptions is also included in narrative format following the survey.

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY OLD REPUBLIC TITLE COMPANY OF OKLAHOMA, COMMITMENT DATE OF SEPTEMBER 11, 2024, BEING COMMITMENT NO. 24307289, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE ENCUMBRANCES.

9. RIGHT-OF-WAY/EASEMENT RECORDED IN BOOK 37, PAGE 213. [THIS ITEM IS APPLICABLE TO THE PARENT PARCEL AND THE FORMER RAILROAD RIGHT-OF-WAY, AS SHOWN HEREON. THIS RAILROAD HAS BEEN EXTENDED TO THE RIGHT-OF-WAY AS EXTINGUISHED, SEE DEED BOOK 882, PAGE 8.]

10. RIGHT-OF-WAY/EASEMENT RECORDED IN BOOK 1, PAGE 137. [THIS ITEM CANNOT BE DETERMINED IF IT IS APPLICABLE TO THE PARENT PARCEL OR TO THE PARENT PARCEL THEREFORE, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

11. EASEMENT RECORDED IN BOOK 221, PAGE 127. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL.]

12. RIGHT-OF-WAY/EASEMENT RECORDED IN BOOK 674, PAGE 781. [THIS ITEM IS APPLICABLE TO THE PARENT PARCEL; HOWEVER, THE EXACT LOCATION THEREOF, WE ARE UNABLE TO ASCERTAIN THE EXACT LOCATION THEREOF.]

13. EASEMENT RECORDED IN BOOK 986, PAGE 23. [THIS ITEM IS NOT APPLICABLE TO THE PARENT PARCEL AND IS PLOTTED HEREON.]

PARENT PARCEL

OWNER: HUELL BRIMLEY AND SUZANNE BRIMLEY
SITE ADDRESS: 48 SHADY CREEK RD, DURANT, OK 74701
PARCEL ID: 070003802
AREA: 11,0716 ACRES
ZONED: A-1

REFERENCE: DEED BOOK 583 PAGE 165

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

GNSS NOTES

THE FOLLOWING GNSS STATISTICS UPON WHICH THIS SURVEY IS BASED WERE PRODUCED AT THE 95% CONFIDENCE LEVEL:
POSITIONAL ACCURACY: 0.02 FEET (VERT) 0.23 FEET (HORIZ)
TYPE OF EQUIPMENT: GARMIN BR700 BASE AND ROVER
DATE OF SURVEY: 09/25/2024; TIME: ONLINE POSITION USER SERVICE
DATUM: NAD 83 (2011) (EPSG:2010.00000)
MODE: REAL TIME CONTROL USE: N/A
COORD. MODEL: 18
COMBINED CRD FACTORS: 0.99995480 CENTERED ON THE BASE POINT AS SHOWN HEREON.
BENCHMARKS USED: D143616, B271484, D09767

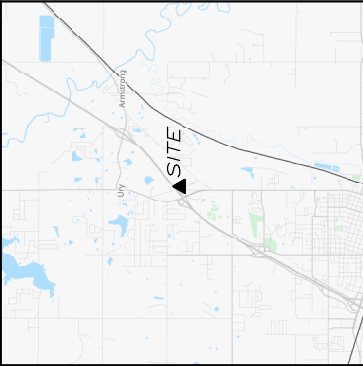
SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.

09/30/2024
OKLAHOMA PROFESSIONAL LAND SURVEYOR
1957

THIS MAP IS NOT A REGISTERED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATION. THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION.

LEGEND	
[Symbol]	CONCRETE MONUMENT FOUND
[Symbol]	TELEPOST
[Symbol]	UTILITY POLE
[Symbol]	UTILITY WIRE ANCHOR
[Symbol]	UTILITY WIRE ANCHOR
[Symbol]	UTILITY WIRE ANCHOR
[Symbol]	BENCHMARK



GENERAL NOTES

* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF CITYSWITCH AND EXCLUSIVELY FOR THE PURPOSES OF THE LEASED PREMISES AND EASEMENTS. THIS SURVEY IS NOT TO BE USED AS AN EVIDENCE IN THE TITLE SIMPLE TRANSFER OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: GOMAX ZOOM 6000 TOTAL STATION WITH 2" DISTANCE MEASUREMENT FIELD VISION (09/25/2024); SEE GNSS NOTES FOR GNS EQUIPMENT. THE 1" MEASUREMENTS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAD 83 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 0.5". CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE. BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON OKLAHOMA GRID NORTH (NAD 83) SOUTH ZONE. PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO. 1: 1001300150E DATED: 09/02/2011. NO METEAD AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED THEREON. THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

POINT TO POINT LAND SURVEYORS
100 Governors Trace, Ste. 103
Peachtree City, GA 30269
(w) 678.565.4440 (f) 678.565.4497
p2ps.com



SPECIFIC PURPOSE SURVEY
PREPARED FOR:

CITYSWITCH
1900 CENTURY PLACE NE, STE. 320
ATLANTA, GA 30345

DURANT
SITE NO. OKC031-A-001
NAD 83 SECTION 16 TOWNSHIP 6 SOUTH RANGE 9 EAST BRYAN COUNTY, OKLAHOMA
DRAWN BY: AJT
CHECKED BY: JKL
APPROVED: D. MILLER
DATE: 09/30/2024
P2P JOB # - 2412520K
SHEET 7
OF 2

GRAPHIC SCALE, IN FEET
SCALE: 1" = 200' (1:1417)

CURRENT NOT VALID WITHOUT SHEET 2 OF 2

30' ACCESS, FIBER & UTILITY EASEMENT
 TOGETHER WITH A 30'-FOOT WIDE ACCESS, FIBER AND UTILITY EASEMENT, MEASURING 15 FEET EACH SIDE OF THE PROPOSED TOWER LEASE AREA, TO BE ACQUIRED BY THE STATE OF OKLAHOMA, AND BEING A PORTION OF THE LANDS OF HUEL BRIMLEY AND SUZANNE BRIMLEY, AS RECORDED IN DEED BOOK 583, PAGE 165, BRYAN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:
 TO FIND THE POINT OF BEGINNING, COMMENCE AT A P.K.-MALL FOUND AT THE WEST QUARTER CORNER OF SAID SECTION 16, BEING IN 28802.8833' E, 1464.5892' S, THENCE RUNNING ON THE SOUTHWEST CORNER OF SAID SECTION 16, NORTH 01°07'11" WEST, 1539.72 FEET TO A POINT LYING ON THE CENTERLINE OF SHOOT CREEK ROAD (HAVING A 33'-FOOT STATUTORY RIGHT-OF-WAY) 32 INCH BEARING FROM THE NORTHEAST CORNER OF SAID JAMES, LYING NORTH 01°07'11" WEST, 48.72 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID WEST LINE AND RUNNING, NORTH 88°53'34" EAST, 40.37 FEET TO THE ENDING AT A POINT ON THE PROPOSED TOWER LEASE AREA. BEARINGS BASED ON OKLAHOMA GRID NORTH, T40 83, SOUTH ZONE.

C/L 30' ACCESS, FIBER & UTILITY EASEMENT
 (RIGHTS TO BE ACQUIRED)

PROPOSED TOWER LEASE AREA

THE TRACT OF PART OF LAND LING AND BEING IN THE NW 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 9 EAST, BRYAN COUNTY, OKLAHOMA, AND BEING ALL OF THE LANDS OF HUEL BRIMLEY AND SUZANNE BRIMLEY, AS RECORDED IN DEED BOOK 583, PAGE 165, BRYAN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 TO FIND THE POINT OF BEGINNING, COMMENCE AT A P.K.-MALL FOUND AT THE WEST QUARTER CORNER OF SAID SECTION 16, BEING IN 28802.8833' E, 1464.5892' S, THENCE RUNNING ON THE SOUTHWEST CORNER OF SAID SECTION 16, NORTH 01°07'11" WEST, 1539.72 FEET TO A POINT LYING ON THE CENTERLINE OF SHOOT CREEK ROAD (HAVING A 33'-FOOT STATUTORY RIGHT-OF-WAY) 32 INCH BEARING FROM THE NORTHEAST CORNER OF SAID JAMES, LYING NORTH 01°07'11" WEST, 48.72 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID WEST LINE AND RUNNING, NORTH 88°53'34" EAST, 40.37 FEET TO THE ENDING AT A POINT ON THE PROPOSED TOWER LEASE AREA. BEARINGS BASED ON OKLAHOMA GRID NORTH, T40 83, SOUTH ZONE.
 SAID TRACT CONTAINS 0.0574 ACRES (2,500 SQUARE FEET), MORE OR LESS.

PARENT PARCEL

(AS SURVEYED)
 ALL OR PART OF PARCEL OF LAND LYING AND BEING IN THE NW 1/4 OF SECTION 16, TOWNSHIP 6 SOUTH, RANGE 9 EAST, BRYAN COUNTY, OKLAHOMA, AND BEING ALL OF THE LANDS OF HUEL BRIMLEY AND SUZANNE BRIMLEY, AS RECORDED IN DEED BOOK 583, PAGE 165, BRYAN COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A P.K.-MALL FOUND AT THE WEST QUARTER CORNER OF SAID SECTION 16, BEING IN 28802.8833' E, 1464.5892' S, THENCE RUNNING ON THE SOUTHWEST CORNER OF SAID SECTION 16, NORTH 01°07'11" WEST, 1539.72 FEET TO A POINT LYING ON THE CENTERLINE OF SHOOT CREEK ROAD (HAVING A 33'-FOOT STATUTORY RIGHT-OF-WAY) 32 INCH BEARING FROM THE NORTHEAST CORNER OF SAID JAMES, LYING NORTH 01°07'11" WEST, 48.72 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID WEST LINE AND RUNNING, NORTH 88°53'34" EAST, 40.37 FEET TO THE ENDING AT A POINT ON THE PROPOSED TOWER LEASE AREA. BEARINGS BASED ON OKLAHOMA GRID NORTH, T40 83, SOUTH ZONE.
 SAID TRACT CONTAINS 11.0716 ACRES (482,278 SQUARE FEET), MORE OR LESS.

SITE INFORMATION

PROPOSED TOWER LEASE AREA = 2,500 SQUARE FEET (0.0574 ACRES)
 LATITUDE = 34°02'17.05" (T40 83) (34.038069)
 LONGITUDE = -96°32'26.97" (R96 32) (-96.537879)
 ELEVATION AT CENTER OF PROPOSED TOWER LEASE AREA = 631.5' A.M.S.L.

LEGEND	DESCRIPTION
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PARENT PARCEL
CITYSWITCH
DURANT
OKC031-A-001

All that tract or parcel of land lying and being in the NW ¼ of Section 16, Township 6 South, Range 9 East, Bryan County, Oklahoma, and being all of the lands of Huell Brumley and Suzanne Brumley, as recorded in Deed Book 583, Page 165, Bryan County records, and being more particularly described as follows:

BEGINNING at a PK-nail found at the west quarter corner of said Section 16, being the southwest corner of said lands, and having an Oklahoma Grid North, NAD 83, South Zone value of N: 258902.6903 E: 2461454.3682; thence running along the west line of said Section 16, North 01°07'11" West, 1638.44 feet to a ½-inch rebar found at the northwest corner of said lands, lying at the intersection of said west line and the southeast right-of-way line of U.S. Highway 75; thence leaving running with said highway right-of-way line, North 50°16'07" East, 100.50 feet to a point located on the west side of the former 100 foot right-of-way line of the K.O & G railroad; Thence, running with said railroad and with the western boundary line of the property conveyed to Huel Brumley and Sue Brumley as described in a deed recorded in Deed Book 892, Page 593, South 16°35'43" East, 889.36 feet to a point; Thence; Thence, 417.18 feet along the arc of a curve to the right having a radius of 1869.86 feet and being scribed by a chord bearing South 10°12'12" East, 416.32 feet to a point; Thence, South 03°48'42" East, 431.18 feet to a concrete monument found on the said quarter section line; Thence running with said quarter section line, South 88°33'40" West, 401.82 feet to a point and the true POINT OF BEGINNING.

Bearings based on Oklahoma Grid North, NAD 83, South Zone.

Said tract contains 11.0716 acres (482,278 square feet), more or less, as shown in a survey prepared for Cityswitch by POINT TO POINT LAND SURVEYORS, INC. dated September 30, 2024, and last revised on August 28, 2025

PROPOSED TOWER LEASE AREA
CITYSWITCH
DURANT
OKC031-A-001

All that tract or parcel of land lying and being in the NW ¼ of Section 16, Township 6 South, Range 9 East, Bryan County, Oklahoma, and being a portion of the lands of Huell Brumley and Suzanne Brumley, as recorded in Deed Book 583, Page 165, Bryan County records, and being more particularly described as follows:

To find the point of beginning, COMMENCE at a PK-nail found at the west quarter corner of said Section 16, being the southwest corner of said lands, and having an Oklahoma Grid North, NAD 83, South Zone value of N: 258902.6903 E: 2461454.3682; thence running along the west line of said Section 16, North 01°07'11" West, 1539.72 feet to a point lying on the centerline of Shady Creek Road (having a 33-foot statutory right-of-way), from whence a ½-inch rebar found at the northwest corner of said lands, lying at the intersection of said west line and the southeast right-of-way line of U.S. Highway 75 bears, North 01°07'11" West, 98.72; thence leaving said west line and running, North 88°53'34" East, 40.37 feet to a point on the Proposed Tower Lease Area; thence running along said Proposed Tower Lease Area, North 01°06'26" West, 25.00 feet to a point and the true POINT OF BEGINNING; Thence, North 88°53'34" East, 50.00 feet to a point; Thence, South 01°06'26" East, 50.00 feet to a point; Thence, South 88°53'34" West, 50.00 feet to a point; Thence, North 01°06'26" West, 50.00 feet to a point and the POINT OF BEGINNING.

Bearings based on Oklahoma Grid North, NAD 83, South Zone.

Said tract contains 0.0574 acres (2,500 square feet), more or less, as shown in a survey prepared for Cityswitch by POINT TO POINT LAND SURVEYORS, INC. dated September 30, 2024, and last revised on August 28, 2025.

30' ACCESS, FIBER & UTILITY EASEMENT
CITYSWITCH
DURANT
OKC031-A-001

Together with a 30-foot wide Access, Fiber and Utility Easement, measuring 15 feet each side of centerline, lying and being in the NW $\frac{1}{4}$ of Section 16, Township 6 South, Range 9 East, Bryan County, Oklahoma, and being a portion of the lands of Huell Brumley and Suzanne Brumley, as recorded in Deed Book 583, Page 165, Bryan County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE at a PK-nail found at the west quarter corner of said Section 16, being the southwest corner of said lands, and having an Oklahoma Grid North, NAD 83, South Zone value of N: 258902.6903 E: 2461454.3682; thence running along the west line of said Section 16, North $01^{\circ}07'11''$ West, 1539.72 feet to a point lying on the centerline of Shady Creek Road (having a 33-foot statutory right-of-way), from whence a $\frac{1}{2}$ -inch rebar found at the northwest corner of said lands, lying at the intersection of said west line and the southeast right-of-way line of U.S. Highway 75 bears, North $01^{\circ}07'11''$ West, 98.72, said point being the true POINT OF BEGINNING; Thence leaving said west line and running, North $88^{\circ}53'34''$ East, 40.37 feet to the ENDING at a point on the Proposed Tower Lease Area.

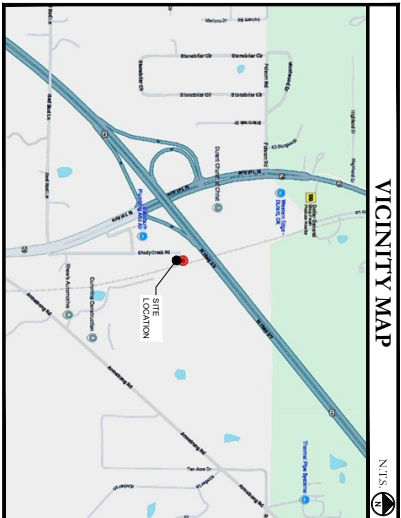
Bearings based on Oklahoma Grid North, NAD 83, South Zone.

As shown in a survey prepared for Cityswitch by POINT TO POINT LAND SURVEYORS, INC. dated September 30, 2024, and last revised on August 28, 2025.

Exhibit F

Zoning Drawings

The enclosed zoning drawings provide a detailed visual representation of the proposed wireless facility, compound layout, and development requirements prescribed in the code. All drawings have been accurately prepared to scale and reviewed for consistency with zoning requirements such as setbacks, height, fencing, access drives, and landscaping buffers, ensuring that the plans align with the compliance narrative and local development standards.



SCOPE OF WORK

CITY SWITCH PROPOSES TO INSTALL AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF 1155 MONOPHASE TOWER WITH LIGHTNING ROD. THE TOWER WILL BE PLACED INSIDE A 2504 SQ FT LEASE AREA AND FENCED COMPOUND.

SITE SUMMARY

SITE TYPE: NEW SITE DESIGN (RAW LAND)
TOWER TYPE: MONOPOLE
TOWER HEIGHT: 155'-0"
APERTURE ANGLE HEIGHT: 160'-0"
TYPE OF OCCUPANCY: TELECOMMUNICATIONS
LOCATION: 314 SHADY CREEK RD / 34.038609° (1A CERTIFICATION)
LONGITUDE: -96° 22' 21.23" / -96.372564° (1A CERTIFICATION)
GROUND ELEVATION: 641.2' AMSL (1A)
CITY: BRYAN
ZONING / JURISDICTION: N/A
OWNER: N/A
OCCUPANCY: (U)
PARCEL NUMBER: 070002802
LEASE AREA SIZE: 11,0716 ACRES
LEASE SIZE: 4,251 SQ FT
CONSTRUCTION TYPE: IIR
POWER COMPANY: SOUTHEASTERN ELECTRIC COOPERATIVE, INC.
CONTACT: PH: (800) 924-2170
FIBER COMPANY: TBD
CONTACT: PH: TBD

PROJECT DIRECTORY

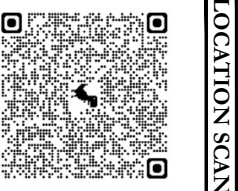
LAND OWNER: HEBEL & SZYMAN, BROWLEY
CARRIER/APPLICANT: CITY SWITCH
 3715 NORTHSIDE PKWY NW, SUITE 1-200
 ATLANTA, GA 30327
 (404) 857-0858
DESIGN FIRM: BROADUS SERVICES
 44 CONNERY PLACE, CIRCLE
 DALWORTHINGTON, GARDENS, TX 76016
 PH: (817) 349-3440
SURVEYOR: POINT TO POINT LAND SURVEYORS
 100 GOVERNORS TRAIL, STE. 100
 PLOCHER, CITY, CA 90269
ENGINEER: ALEXANDER ABERNATHY, P.E.
 CONSULTING ENGINEER
 1000 WOODS GLEN, UNIT 1148
 ATLANTA, GA 30312

**3715 NORTHSIDE PKWY NW,
 SUITE 1-200
 ATLANTA, GA 30327
 (404) 857-0858**

**CITY SWITCH SITE ID:
 OKC031-A-001**

**CITY SWITCH SITE NAME:
 DURANT**

**SITE ADDRESS:
 314 SHADY CREEK ROAD
 DURANT, OK 74701**



LOCATION SCAN

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CITY OF DURANT SPECIFICATIONS AND CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CODE COMPLIANCE

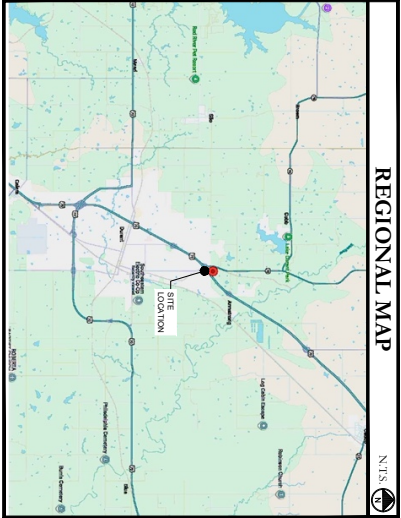
CONCRETE: IRC 2018
 MECHANICAL: IMC 2018
 ELECTRICAL: NEC 2017

REFERENCE DOCUMENTS:
 TOWER & FOUNDATION DESIGN BY: OTHERS
 PROJECT: ...
 DRAWING: ...

GENERAL NOTES

- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. THEREFORE HANDICAP ACCESS IS NOT REQUIRED.
- A FENCE WILL BE INSTALLED AROUND THE FACILITY. A FENCE CONTRACTOR SHALL BE REQUIRED FOR ROUTINE MAINTENANCE.
- NO SANITARY SEWER SERVICE, POTABLE WATER OR TRASH DISPOSALS REQUIRED.

CALL OR EMAIL OUR CONSULTANTS
 (800) 522-OKIE
 CALL WORKING DAYS
 BEFORE 10:00 AM



DRAWING INDEX

SHEET	TITLE SHEET
T-1	TITLE SHEET
SUB-1	SURVEY SHEET
SUB-2	SURVEY SHEET
N-1	GENERAL CONSTRUCTION NOTES
N-2	GENERAL CONSTRUCTION NOTES
ZD-1	OVERALL LOCATION PLAN
ZD-2	SETBACK PLAN
ZD-3	SITE LOCATION PLAN
ZD-4	ZONING MAP
C-1	TOWER ELEVATION
C-2	TOWER ELEVATION
C-3	SITE CONSTRUCTION DETAILS
C-3A	CONCRETE WASHOUT DETAILS
C-3B	ROBSON CONTROL DETAILS
C-3C	ROBSON CONTROL NOTES
C-4	FENCE DETAILS
C-4A	FENCE DETAILS
E-1	ELECTRICAL NOTES
E-2	UTILITY ROUTING PLAN
E-3	HARVEST DETAILS
E-4	SINGLE LINE DIAGRAM
E-5	UTILITY DETAILS
G-1	SITE GROUNDING PLAN
G-2	GROUNDING DETAILS
G-3	GROUNDING DETAILS
G-4	GROUNDING NOTES
SS-1	SITE SIGNAGE

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED BY
ZD-1	06/25/2025	WIS	PRELIMINARY	JK
ZD-2	06/25/2025	WIS	PRELIMINARY	JK

THIS DOCUMENT IS RELEASED FOR THE PRELIMINARY REVIEW OF ALEXANDER ABERNATHY, P.E. 2/7/23. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

THIS DOCUMENT IS NOT FOR CONSTRUCTION PURPOSES. IT IS FOR PRELIMINARY REVIEW ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNING AUTHORITIES.

**CITY SWITCH SITE NAME:
 DURANT**

**CITY SWITCH SITE ID:
 OKC031-A-001**

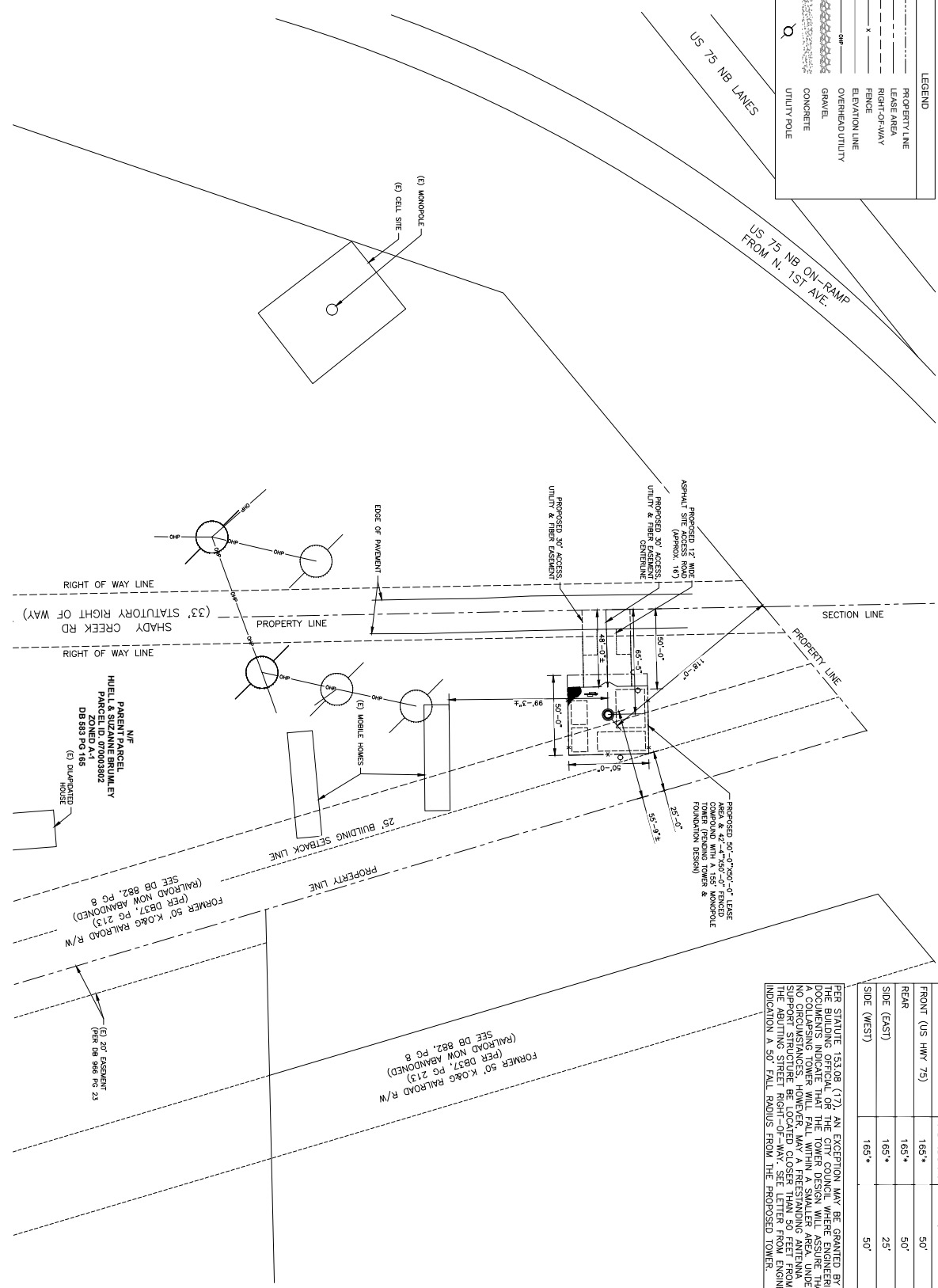
**SITE ADDRESS:
 314 SHADY CREEK ROAD
 DURANT, OK 74701**

**SHEET TITLE:
 TITLE SHEET**

**SHEET NUMBER:
 T-1**

**DIVISION:
 ZCDB**

LEGEND	
---	PROPERTY LINE
---	LEASE AREA
---	RIGHT-OF-WAY
---	FENCE
---	ELEVATION LINE
---	OVERHEAD UTILITY
---	GRAVEL
---	CONCRETE
---	UTILITY POLE



1 SETBACK PLAN
 SCALE: 1"=30'-0" (TYP)
 1"=60'-0" (TYP)



A-1 AGRICULTURAL ZONING DISTRICT	TOWER SETBACKS*	GROUND EQUIPMENT SETBACKS
FRONT (US HWY 75)	165'	50'
REAR	165'	50'
SIDE (EAST)	165'	25'
SIDE (WEST)	165'	50'

PER STATUTE 153.08 (17), AN EXCEPTION MAY BE GRANTED BY THE BUILDING OFFICIAL OR THE CITY COUNCIL, WHERE ENGINEERING DOCUMENTS INDICATE THAT THE TOWER DESIGN WILL ASSURE THAT NO INTERFERENCE WILL OCCUR WITH ANY OTHER ANTENNA UNDER NO CIRCUMSTANCES. HOWEVER, MAY A FREESTANDING ANTENNA SUPPORT STRUCTURE BE LOCATED CLOSER THAN 50 FEET FROM THE ADJOINING STREET RIGHT-OF-WAY. SEE LETTER FROM ENGINEER INDICATION A 50' FALL RADIIUS FROM THE PROPOSED TOWER.

FORMER 50' K.O.G. RAILROAD R/W
 (RAILROAD NOW ABANDONED)
 (PER DB 857, PG 213)
 SEE DB 882, PG 8

N/F
 PARENT PARCEL
 HUBEL PARCEL ID 070008802
 ZONED A-1
 DB 883 PG 165
 (E) DUPLICATED
 (E) MOBILE HOMES

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED
1	06/25/2025	WIS	PRELIMINARY	JK
2	06/25/2025	WIS	REVISED ZONING	JK

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF ALEXANDER ABERNATHY, P.E. 27793. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

THIS INFORMATION IS FOR YOUR REFERENCE ONLY. THE CITY OF ALEXANDER, IN THE DIRECTOR'S OFFICE OF ALEXANDER ROBINSON, IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

PICTURE CARRIER I/P:
06525600

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

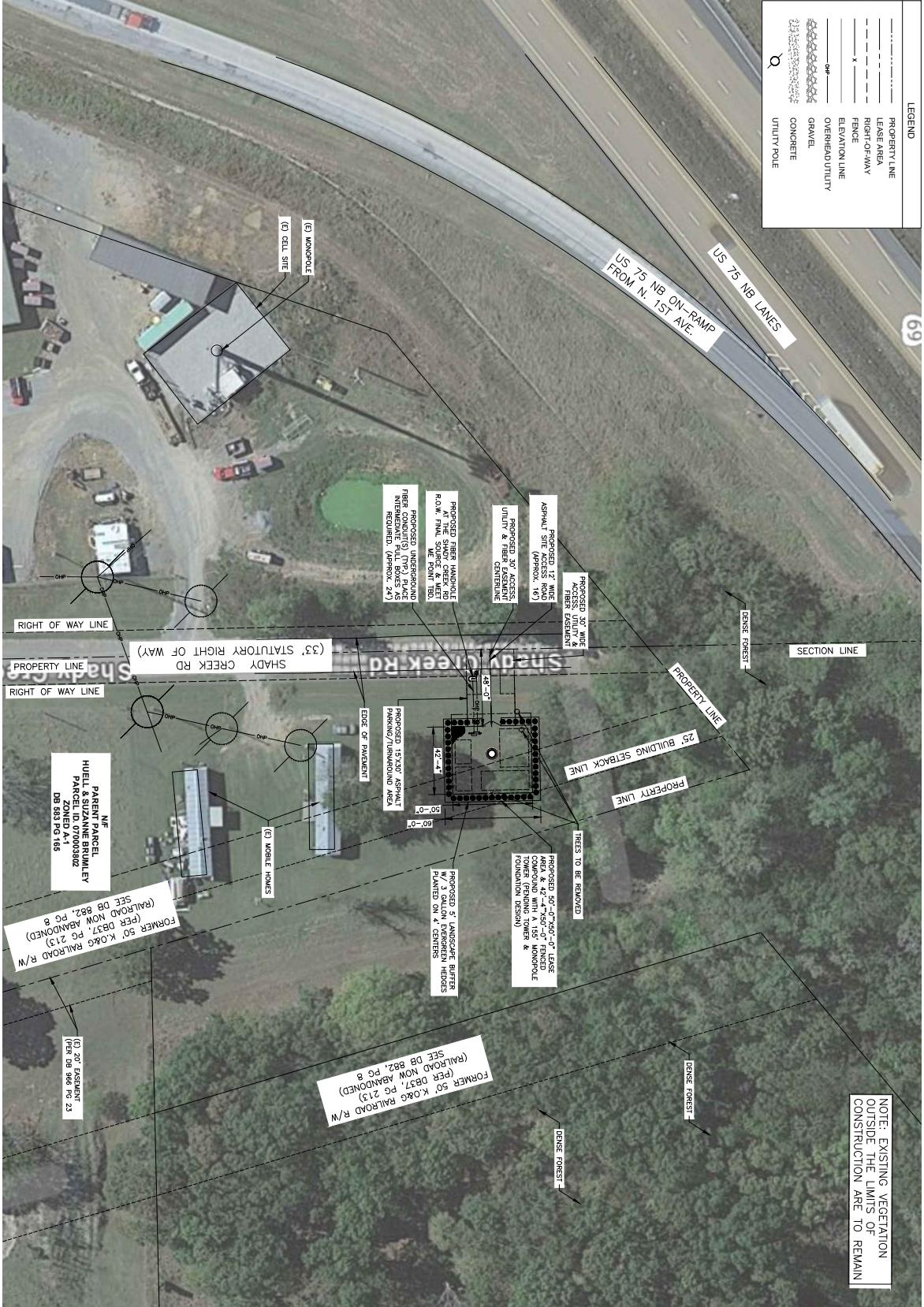
SHEET TITLE:
SETBACK PLAN

SHEET NUMBER:
ZD-2

DIVISION:
ZCDB

LEGEND

- PROPERTY LINE
- LEASE AREA
- RIGHT-OF-WAY
- FENCE
- ELEVATION LINE
- OVERHEAD UTILITY
- GRAVEL
- CONCRETE
- UTILITY POLE



1 LOCATION PLAN
 SCALE: 1"=50'-0" (TYP)
 30'



ISSUED FOR:

REV	DATE	BY	DESCRIPTION	PREPARED BY	CHECKED BY

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THIS INFORMATION IS FOR YOUR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. CONSULT THE FINAL CONTRACT DOCUMENTS FOR THE PROJECT.

CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

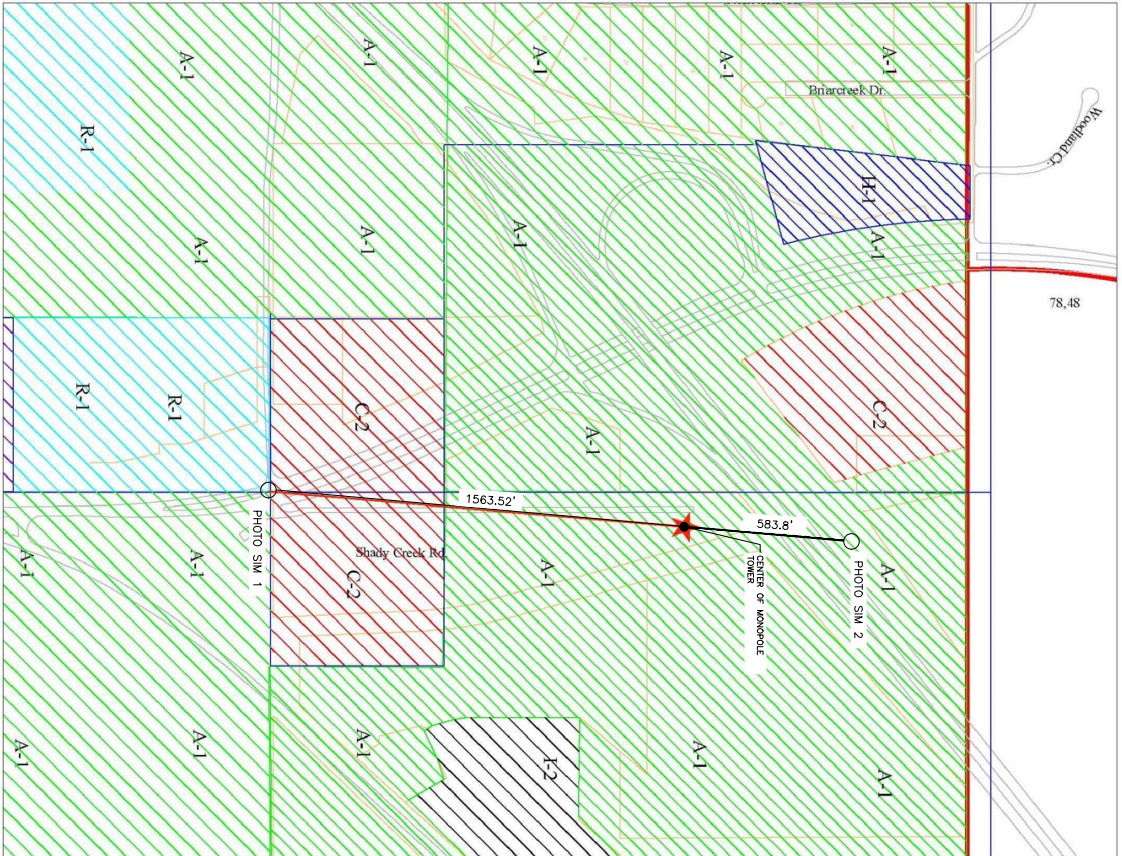
FUTURE CARRIER I/F:
6652560

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET NUMBER:
ZD-3

DIVISION:
ZCDB

SHEET TITLE:
SITE LOCATION PLAN



LEGEND:

- A-1 GENERAL AGRICULTURAL DISTRICT-A-1
- C-2 HIGHWAY COMMERCIAL & COMMERCIAL
- R-1 RECREATION DISTRICT
- R-1 SINGLE FAMILY RESIDENTIAL DISTRICT
- H-1 HEALTH FACILITIES DISTRICT
- I-2 HEALTH FACILITIES DISTRICT
- 314 SHADY CREEK ROAD WILL BE THE OFFICIAL ADDRESS FOR THIS CELL SITE. LOCATION IS ZONED A1 (AGRICULTURE).

1 ZONING MAP WITH PHOTO SIM LOCATIONS
 SCALE: 1" = 400'-0" (1:1600)



ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED BY

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THIS INFORMATION IS FOR YOUR INFORMATION ONLY. IT IS NOT TO BE USED FOR THE DESIGN OR CONSTRUCTION OF ANY PROJECT. THE USER OF THIS INFORMATION SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

CITYSWITCH SITE NAME:
DURANT

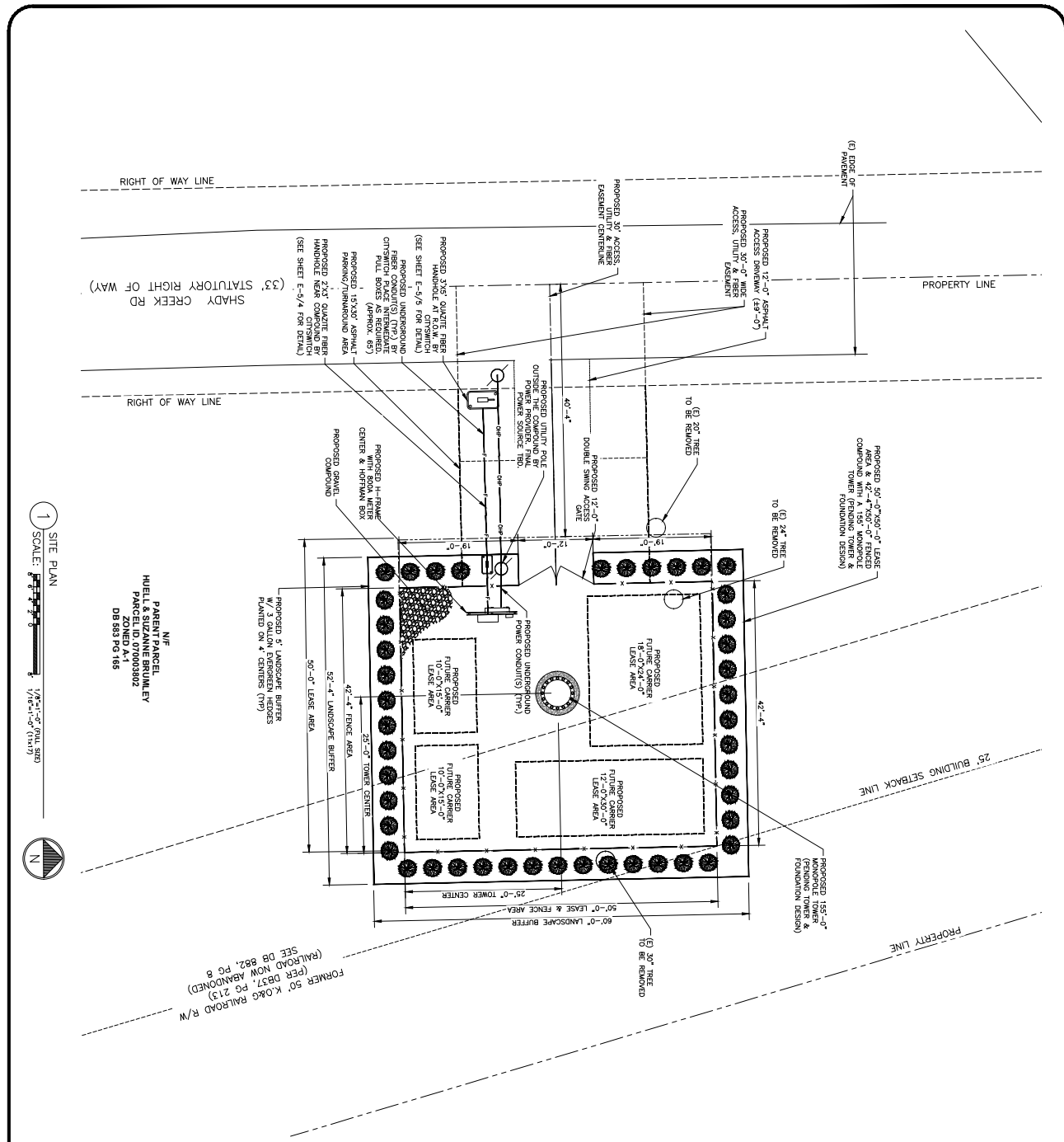
CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER POC:
6652560

SITE ADDRESS:
**314 SHADY CREEK ROAD
 DURANT, OK 74701**

SHEET NUMBER: **ZD-4**
 DIVISION: **ZCDB**

SHEET TITLE:
ZONING MAP



1 SITE PLAN
 SCALE: 1/8"=1'-0" (RUL. 1/8")
 1/4"=1'-0" (1x12)



NIP
 PARCEL
 HUELL & SIZANNE BRUMLEY
 PARCEL ID: 070003802
 ZONED A-1
 DB 883 PG 168

FORMER 50' K&O RAILROAD R/W
 (SEE DB37, PG 213)
 (RAILROAD NOW ABANDONED)
 SEE DB 882, PG 8

PROPOSED SITE LOCATION (FROM SURVEY):
 LATITUDE: 34° 02' 17.05" / 34.038069°
 LONGITUDE: -96° 22' 21.23" / -96.372564°
 GROUND ELEVATION: 631.2' AMSL

NOTE: EXISTING VEGETATION
 OUTSIDE THE LIMITS OF
 CONSTRUCTION ARE TO REMAIN

LEGEND

- PROPERTY LINE
- LEASE AREA
- RIGHT-OF-WAY
- FENCE
- ELEVATION LINE
- OVERHEAD UTILITY
- GRAVEL
- CONCRETE
- UTILITY POLE

GENERAL NOTES

LATITUDE: 34° 02' 17.05" / 34.038069° (N.A. CERTIFICATION)
 SOURCE: (14 CERTIFICATION)

LONGITUDE: -96° 22' 21.23" W / -96.372564° (N.A. CERTIFICATION)
 SOURCE: (14 CERTIFICATION)

ALL SOIL MATERIALS EXCAVATED BY THE CONTRACTOR SHALL REMAIN ON THE SITE AND NOT TO BE REMOVED

- IMPORTANT SITE NOTES
1. CONTRACTOR WILL NOT START CONSTRUCTION UNTIL AFTER THEY HAVE RECEIVED WITH THE PROJECT MANAGER.
 2. CONTRACTOR TO HIRE PUBLIC (811) AND PRIVATE UTILITY LOCATING SERVICES TO LOCATE ALL UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. AT HIS/HER OWN COST AND COORDINATE ANY REPAIRS WITH RESPECTIVE UTILITY COMPANY.
 4. CONTRACTOR TO VERIFY ALL HEIGHTS AND ADJUSTMENTS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CARRIER AND PROVIDER OF ANY DISCREPANCIES BEFORE PROCEEDING.
 5. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.
 6. TOWER WILL BE MADE AVAILABLE TO OTHER TELECOMMUNICATIONS COMPANIES FOR COLOCATION.

CALL OR TEXT US AT: 800.522.0316
 CALL US WORKING DAYS 8:00 AM - 5:00 PM
 BERBER VON DRIG

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED
001	06/25/2025	WIS	PRELIMINARY ZONING	NR

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF ALEXANDER ABERNATHY, P.E. 27793. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER POC:
6622560

SITE ADDRESS:
**314 SHADY CREEK ROAD
 DURANT, OK 74701**

SHEET TITLE:
SITE PLAN

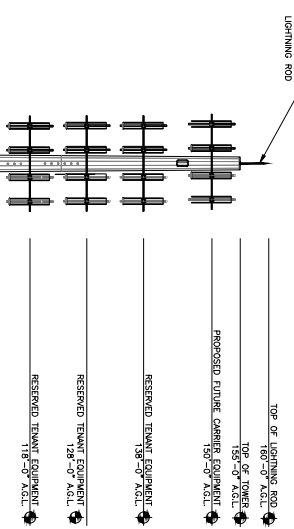
SHEET NUMBER: **C-1**
 DIVISION: **ZCDB**

NOTE:
BROADUS SERVICES SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE STRUCTURE CAN SUPPORT THE ANTENNAS AND EQUIPMENT. BROADUS SERVICES HAS CONDUCTED VISUAL SUPPORT TESTS ON THESE ANTENNAS PRIOR TO ANY ANTENNA EQUIPMENT INSTALLATION. A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.

NOTE:
BROADUS SERVICES SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS ANTENNA MOUNT. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION. A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.

NOTE:
TO CONSTRUCTION CONTRACTOR TO VERIFY FAA REQUIREMENTS FOR LIGHTING TOWER

NOTE:
OWNER AND FOUNDATION DESIGN PENDING AT TIME OF CD REVISION



1 TOWER ELEVATION
SCALE: 3/8"=1'-0" (RUL STD)
3/8"=1'-0" (1/4"=1'-0")



ISSUED FOR:

REV	DATE	BY	DESCRPTION	REVISED
ZDB	06/20/2025	WIS	PRELIMINARY	JK
ZDB	06/20/2025	WIS	REVISED ZONING	JK

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER P/N:
0652560

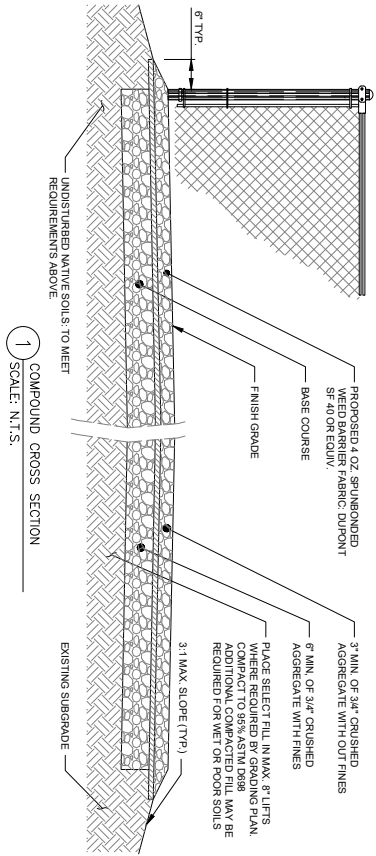
SITE ADDRESS:
314 SHADY CREEK ROAD
DURANT, OK 74701

SHEET NUMBER: **C-2**

REVISION: **ZCDB**

TOWER ELEVATION

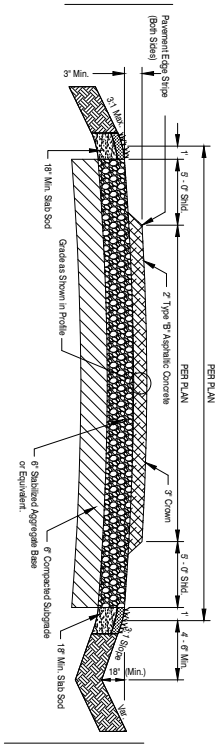
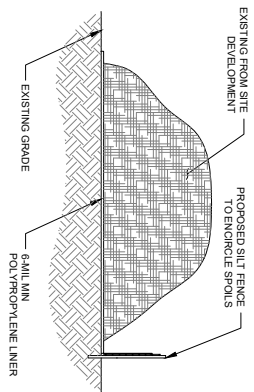
- NOTES:
- REMOVE ALL TOPSOIL, ORGANIC MATERIAL, AND MET OR POOR FROM PROPOSED COMPOUND AREA. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12" CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.
 - SUBGRADE TO BE COMPACTED TO 95% ASTM D698 AND VERIFIED BY PROOF-ROLL OR GEOTECHNICAL RECOMMENDATIONS.
 - IF THE GEOTECHNICAL REPORT PERMITS, USE ON-SITE SOILS FOR SELECT FILL PROVIDED IT IS AVAILABLE AND FREE OF DELETERIOUS MATERIALS AND ORGANICS.



1 COMPOUND CROSS SECTION
SCALE: N.T.S.

2 NOT USED
SCALE: N.T.S.

3 SPOILS CONTAINMENT DETAIL
SCALE: N.T.S.



4 ASPHALT DRIVE CROSS SECTION
SCALE: N.T.S.

5 NOT USED
SCALE: N.T.S.



ISSUED FOR:					
REV.	DATE	BY	DESCRIPTION	DESIGNED BY	INCH
ZDB	06/25/2025	WIS	PRELIMINARY	JK	
ZDB	06/26/2025	WIS	REVISED ZONING	JK	

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER I/P:
16522560

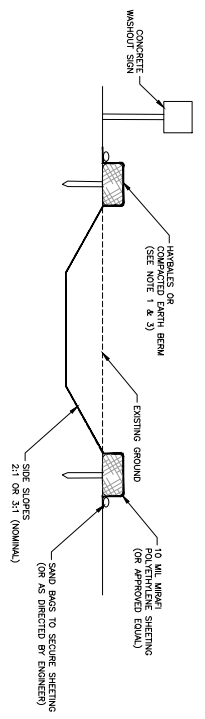
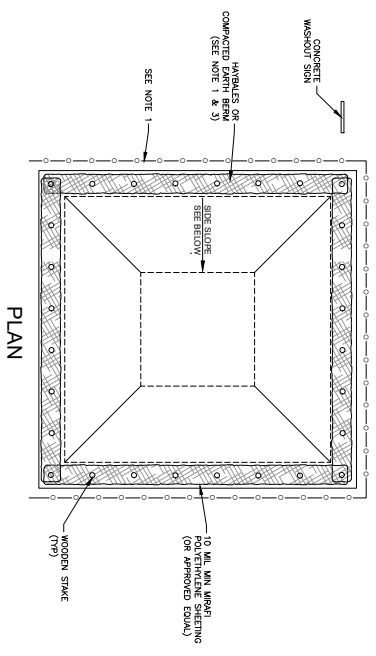
SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET TITLE:
**SITE CONSTRUCTION
DETAILS**

SHEET NUMBER:
C-3

DIVISION:
ZCDB

- NOTES:**
1. CONCRETE WASHOUT AREAS (CWAS) SHALL BE INSTALLED PRIOR TO THE FIRST CONCRETE DELIVERY TO THE SITE. THE CWAS SHALL BE ENTIRELY SELF-CONTAINED. CWAS SHALL BE INSTALLED WITH A SIGN CLEARLY INDICATING ITS PURPOSE. CWAS SHALL BE SURROUNDED WITH ORANGE SAFETY WARNING BARRIERS (E.G. CONE).
 2. THE CWAS SHALL BE LOCATED AT LEAST 50' FROM ANY WETLAND LINE, STORM DRAINS AND STORM WATER MANAGEMENT BASINS. THE CWAS SHALL BE UPSLOPE OF THE EROSION CONTROL BARRIER (E.C.B).
 3. CWAS SHALL BE SIZED TO HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO ACTIVITIES ASSOCIATED WITH GROUT AND MORTAR.
 4. SIGNS SHALL BE ERECTED AT THE CONSTRUCTION ENTRANCE OR ELSEWHERE AS NEEDED TO CLEARLY INDICATE THE LOCATION OF THE CWAS TO OPERATORS OF CONCRETE DELIVERY TRUCK SAND PUMPING RISERS WHO HAVE ENTERED THE SITE.
 5. CWAS SHALL BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND FOR LEAKS, TEARS, OR OVERFLOWS. CWAS SHALL ALSO BE INSPECTED AFTER HEAVY RAINS. RESULTS OF CWAS INSPECTIONS ARE TO BE INCLUDED IN THE INSPECTION REPORTS REQUIRED BY THE STORM WATER PERMIT.
 6. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CWAS STORAGE CAPACITY AND AT THE COMPLETION OF ALL ACTIVITIES ASSOCIATED WITH THE CONCRETE WASHOUT. THE REMOVAL AND DISPOSAL OF WASTE SHALL BE DISCUSSED IN A WANNER CONSISTENT WITH ALL APPLICABLE LAWS AND REGULATIONS.



1 CONCRETE WASHOUT DETAILS
SCALE: N.T.S.



ISSUED FOR:

REV.	DATE	BY	DESCRIPTION	REVISED BY
ZD01	06/29/2023	WIS	PRELIMINARY	JR
ZD02	06/29/2023	WIS	REVISED ZONING	JR

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER I/P:
0652560

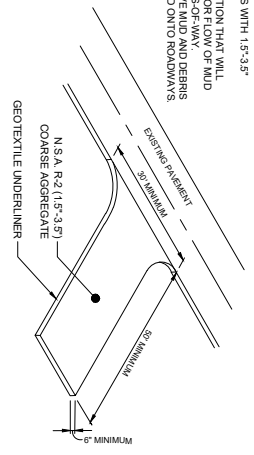
SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET TITLE:
**CONCRETE WASHOUT
DETAILS**

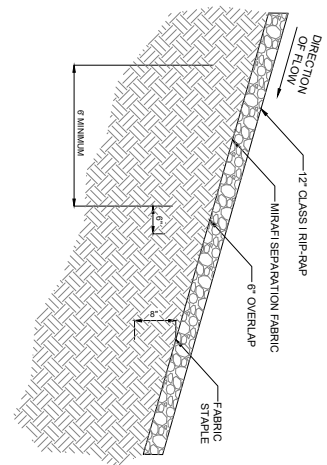
SHEET NUMBER:
C-3A

DIVISION:
ZCDB

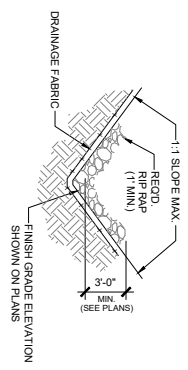
- MAINTENANCE:
1. PERIODICALLY DRESS WITH 1.5-3.5" STONE.
 2. MAINTAIN IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
 3. IMMEDIATELY REMOVE MUD AND DEBRIS TRACKED OR SPILLED ONTO ROADWAYS.



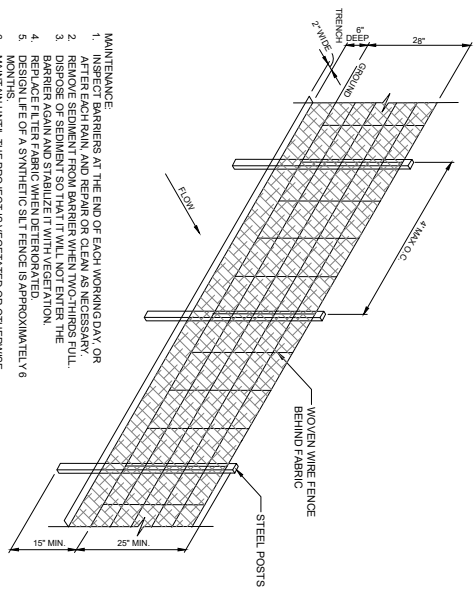
1 CONSTRUCTION EXIT DETAIL
SCALE: N.T.S.



2 RIP RAP SLOPE DETAIL
SCALE: N.T.S.

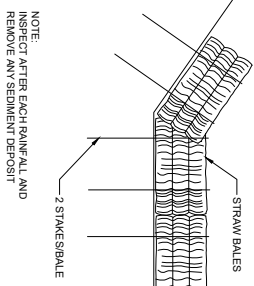
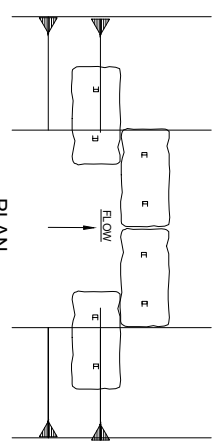


3 TYPICAL RIP RAP DITCH DETAIL
SCALE: N.T.S.

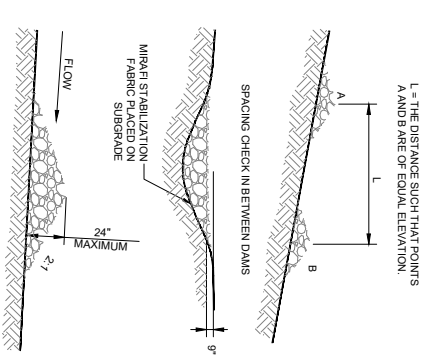


- MAINTENANCE:
1. INSPECT BARRIERS AT THE END OF EACH WORKING DAY OR AFTER EACH RAIN AND REPAIR OR CLEAN AS NECESSARY.
 2. REMOVE SEDIMENT FROM BARRIERS WHEN TWO-THIRDS FULL.
 3. DISPOSE OF SEDIMENT SO THAT IT WILL NOT ENTER THE BARRIER AGAIN AND STABILIZE WITH VEGETATION.
 4. REPAIR AND MAINTAIN BARRIERS THROUGHOUT THE PROJECT.
 5. DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 MONTHS.
 6. MAINTAIN UNTIL THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
 7. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.

4 TYPE C SEDIMENTATION BARRIER DETAIL
SCALE: N.T.S.



5 HAY BALES
SCALE: N.T.S.



- NOTES:
1. CHECK DAMS TO BE CONSTRUCTED OR GRADED SEE 2 - 10 REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR SWALE AND THAT CENTER OF DAMS IS LOWER THAN EDGES.
 2. SEDIMENT TO BE REMOVED WHEN A LEVEL OF 1/2 THE ORIGINAL DAM HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF

6 CHECK DAM
SCALE: N.T.S.

ISSUED FOR:

REV.	DATE	BY	DESCRIPTION	REVISED BY
001	06/25/2025	WIS	PRELIMINARY	JK
002	06/26/2025	WIS	REVISED ZONING	JK



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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

PICTURE CARRIER P/N:
16522560

SITE ADDRESS:
**314 STAVLY CREEK ROAD
DERANT, OK 74701**

SHEET NUMBER:
C-3B

REVISION:
ZCDB

SHEET TITLE:
EROSION CONTROL DETAILS

PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. CALENDAR	RYE GRASS	20-40 LB	UNHILLED BERMUDA SERICEA LESPEDEZA	8-10 LB 30-40 LB
2. FEBRUARY			UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB
3. MARCH	RYE ANNUAL LESPEDEZA WEEDING LOVE GRASS	2-3 BU 4-6 LB	UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB
4. APRIL	RYE BROWN TOP MILLET SUDAN ANNUAL	2-3 BU 20-40 LB 35 LB	WEEDING LOVE GRASS HILLED BERMUDA BUA	4-6 LB 5-6 LB 40-50 LB
5. MAY	WEEDING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB	WEEDING LOVE GRASS HILLED BERMUDA	4-6 LB 5-6 LB 40-50 LB
6. JUNE	WEEDING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB	WEEDING LOVE GRASS HILLED BERMUDA BUA	4-6 LB 5-6 LB 40-50 LB
7. JULY	WEEDING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB		
8. AUGUST	RYE GRASS WEEDING LOVE GRASS	4050 LB 4-6 LB	TALL FESCUE	30-60 LB
9. SEPTEMBER	WHEAT	2-3 BU	UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB
10. OCTOBER	WHEAT	2-3 BU	UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB
11. NOVEMBER	WHEAT	2-3 BU	UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB
12. DECEMBER	RYE GRASS WHEAT	2-3 BU 40-50 LB 2-3 BU	UNHILLED BERMUDA SERICEA LESPEDEZA FESCUE	8-10 LB 30-40 LB 30-50 LB

1. USE A MINIMUM OF 40 LBS SCARIFIERS SEED. THE REMAINING MAY BE UN SCARIFIED CLEAN HILLED SEED.
 2. USE EITHER COMMON SERIAL OR INTERSTATE SERICEA LESPEDEZA

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT IN ROAD CUT AND HILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTIONS, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED NO GRADING AND SHAPING OF SEEDBED PREPARATIONS WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND SUPPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION (MINIMUM 24 HOURS AFTER SEEDING) WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS: A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE #75 - 400 LBS/ACRE
 FERTILIZER (AMMONIUM NITRATE 33.5%) - 5000 LBS/ACRE
 WOOD CELLULOSE FIBER MULCH - 1000 LBS/ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICEA LESPEDEZA SCARIFIED WEEDING LOVE GRASS OR COMMON BERMUDA, HILLED	60 LBS 4 LBS 6 LBS	3/1-6/15
FESCUE	40 LBS	4/1-10/31
SERICEA LESPEDEZA, UNCERTIFIED	60 LBS	
FESCUE	40 LBS	11/1-12/28
SERICEA LESPEDEZA, UNCERTIFIED	60 LBS	
HAY MULCH FOR TEMPORARY COVER	5000 LBS	6/15-9/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL
 FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS/ACRE

C. SECOND YEAR TREATMENT:
 FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS/ACRE

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT GRADE SHARP AND SMOOTH WHERE NEEDED TO PREPARE THE SEEDBED. FERTILIZER AND SEEDS WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL FULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIVATOR SEEDER, ROTARY SEEDER, OR OTHER MECHANICAL SEEDER. SEEDS WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD BY EITHER BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT WAS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION ARE AS FOLLOWS: A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE #15 - 4000 LBS/ACRE
 FERTILIZER (5-10-15) - 1500 LBS/ACRE
 MULCH (STRAW OR HAY) - 5000 LBS/ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
HILLED COMMON BERMUDA GRASS	10 LBS	3/1-6/15
FESCUE	50 LBS	9/1-10/31
FESCUE	50 LBS	11/1-12/28
RYEGRASS	50 LBS	
HAY MULCH FOR TEMPORARY COVER	5000 LBS	6/15-9/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL
 FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS/ACRE

C. SECOND YEAR TREATMENT:
 FERTILIZER (0-20-20 OR EQUIVALENT) 800 LBS/ACRE



ISSUED FOR:

NO.	DATE	BY	DESCRIPTION	REVISED

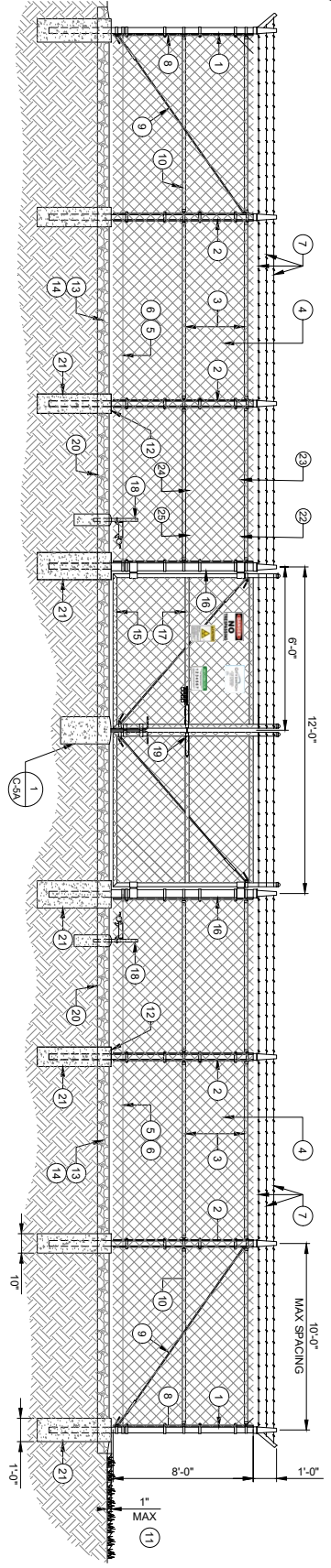
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CITYSWITCH SITE NAME:
DURANT
 CITYSWITCH SITE ID:
OKC031-A-001
 PLOTURE: CARBIDE PAV
16522500
 SITE ADDRESS:
 314 SHADY CREEK ROAD
 DURANT, OK 74701

SHEET TITLE:
EROSION CONTROL NOTES

SHEET NUMBER:
C-3C
 DIVISION:
ZCDB



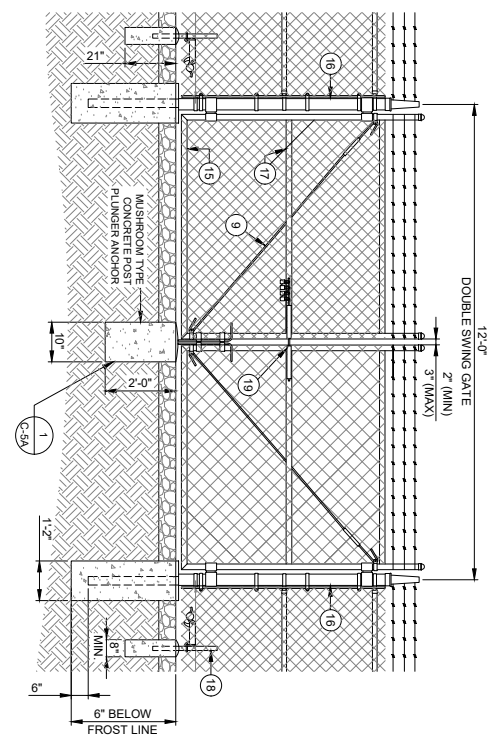
1 TYPICAL FENCING DETAIL
SCALE: N.T.S.

GENERAL NOTES:

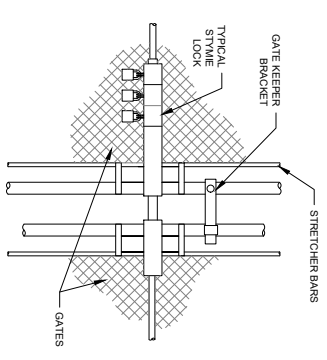
1. INSTALL FENCING PER ASTM F-987
2. INSTALL SWING GATES PER ASTM F-987
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH 60 GON/SOL-COAT DULY (GHEADUN).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
8. MISHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.
9. G.C. RESPONSIBLE FOR CITYSWITCH GATE LOCK

KEY NOTE REFERENCE:

- 1 CORNER END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE
- 2 LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM F-1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM F-1083
- 4 FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM A432
- 5 THE WIRE: 9 GA ALUMINUM A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/TIES AND 24" RAILS/WIRE
- 6 TENSION WIRE: 9 GA ALUMINUM
- 7 BARBED WIRE: DOUBLE STRAND 12.5 G.A. TWISTED WIRE TO MATCH WITH FABRIC: 14 GA. 4" TIE BARS SPACED 50" FROM MAXIMALLY 9' CENTER.
- 8 3/8" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
- 10 TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM F-1083
- 11 1" MAXIMUM CLEARANCE FROM FINISH GRADE
- 12 FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE
- 13 6" COMPACTED BASE MATERIAL
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL
- 15 WELDED GATE FRAME: 2" O.D. SCHEDULE 40 PIPE, PER ASTM F-1083
- 16 GATE POST: 4" O.D. SCHEDULE 40 PIPE, PER ASTM F-1083
- 17 GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM F-1083
- 18 DIAPHRAGM OPER. GATE HOLDER, VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION. SEE DETAIL 305
- 19 STYME LOCK MULTI-TENANT LOCKING DEVICE
- 20 GED-TEXTILE FABRIC
- 21 CONCRETE FOUNDATION (MIN 3000 PSI) MINIMUM DEPTH: 6" BELOW FROST LINE
- 22 TOWER OWNER SITE INFORMATION SIGN, SEE PAGE SS-1
- 23 6" X 14" NOT REBASSING SIGN, SEE PAGE SS-1
- 24 12" X 8" FR EXPOSURE CAUTION SIGN, SEE PAGE SS-1
- 25 8" X 12" FCC REGISTRATION SIGN, SEE PAGE SS-1
- 26



2 DOUBLE-SWING GATE DETAIL
SCALE: N.T.S.



3 MULTI-TENANT LOCKING DEVICE
SCALE: N.T.S.

CITYSWITCH

BROADUS SERVICES

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED
ZCDB	06/25/2025	WIS	PRELIMINARY	JK
ZCDB	06/25/2025	WIS	REVISED ZONING	JK

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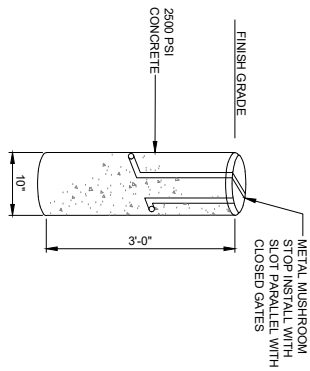
CITYSWITCH SITE ID:
OKC031-A-001

PICTURE CARRIER FIVE:
06522500

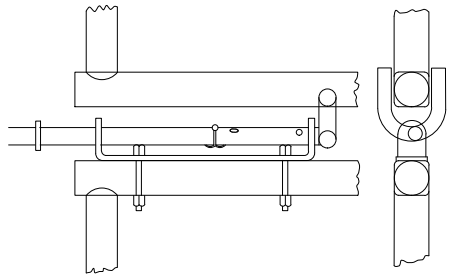
SITE ADDRESS:
**314 SHADY CREEK ROAD
DERANT, OK 74701**

SHEET NUMBER:
C-4

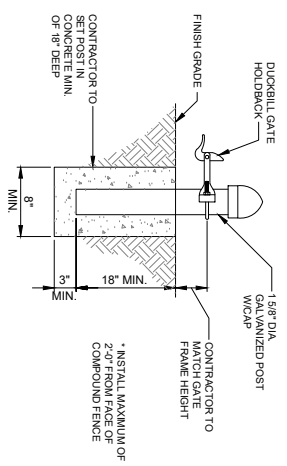
DIVISION:
ZCDB



1 MUSHROOM STOP DETAIL
SCALE: N.T.S.



2 DROP ROD ASSEMBLY DETAIL
SCALE: N.T.S.



4 GATE KEEPER DETAIL
SCALE: N.T.S.

3 NOT USED
SCALE: N.T.S.



ISSUED FOR:					
REV	DATE	BY	DESCRIPTION	DESIGNED	INCH
ZCDB	06/25/2025	WIS	PRELIMINARY	JK	
ZCDB	06/25/2025	WIS	REVISED ZONING	JK	

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

PLANTER: CARRIER P.V.
16522560

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

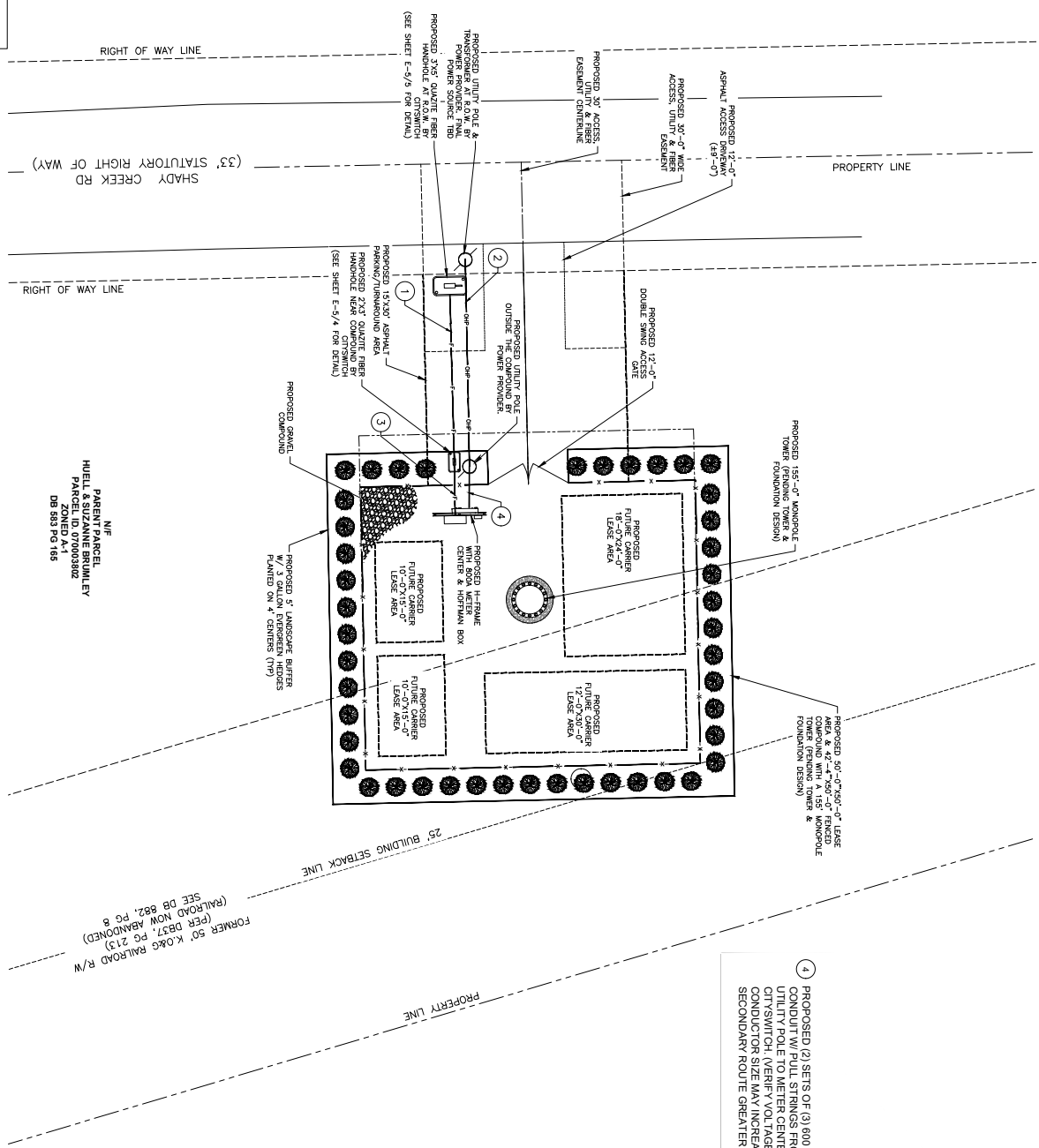
SHEET TITLE:
FENCE DETAILS

SHEET NUMBER:
C-4A
DIVISION:
ZCDB



1 UTILITY ROUTING PLAN

SCALE: 1" = 10'-0" (FIELD) 1/8" = 1'-0" (TITLE)



1 PROPOSED (2) SETS OF (3) 600 KCMIL IN 4" CONDUIT W/ FULL STRINGS FROM PROPOSED CITY SWITCH NEARLY VOLTAGE DROP CONDUCTOR SIZE MAY INCREASE FOR SECONDARY ROUTE GREATER THAN 250L.F.)

SHEET NUMBER: E-2
 DIVISION: ZCDB

UTILITY ROUTING PLAN

CITYSWITCH SITE NAME: DURANT

CITYSWITCH SITE ID: OKC031-A-001

FUTURE CARRIER I/P: 1652560

SITE ADDRESS: 314 SHADY CREEK ROAD DURANT, OK 74701

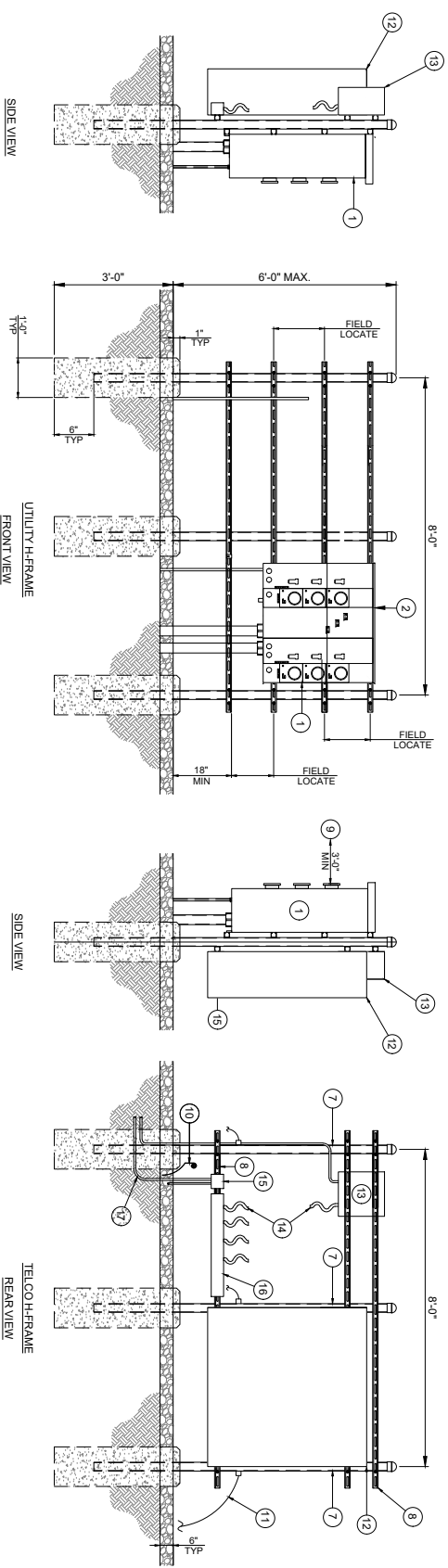
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ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED BY
1	06/25/2025	WJS	PRELIMINARY	JK
2	06/26/2025	WJS	REVISED ZONING	JK

BROADUS SERVICES

CITYSWITCH

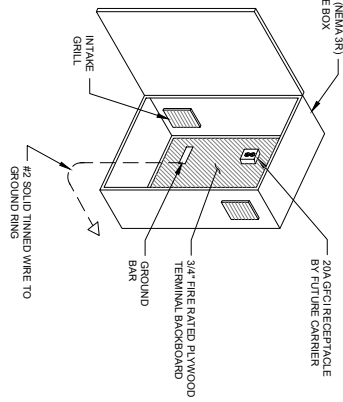


NOTE: METER BANK PARTS MFG. TO BE CONFIRMED BY UTILITY CONTRACTOR.

UTILITY DESIGN REQUIREMENTS PER POWER COMPANY: CONTRACT 18D

BALLOON REFERENCE NOTES:

- 1 800A, 120/240V, 1 PHASE, 3 WIRE, 6 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER MP86200 OR EQUIVALENT)
- 2 KEEP TENANT SERVICE DISCONNECT (SQUARE D 20 AMP MAX KEEP AS IS, OR EQUAL)
- 3 NOT USED
- 4 NOT USED
- 5 NOT USED
- 6 NOT USED
- 7 3" NOMINAL GALVANIZED STEEL PIPE WITH PIPE CAP
- 8 HORIZONTAL SUPPORT MEMBER (UNISTRUT P1000, OR APPROVED EQUAL)
- 9 CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
- 10 6" #8 GROUND WIRE COILED AT POST. CONNECT TO GROUNDING SYSTEM
- 11 UTILITY & TELCO H-FRAME DETAIL - FOR UT TOWERS
- 12 #2 AWG BARE SQUID TINNED COPPER WIRE ROUTED TO GROUNDING SYSTEM (TYP. EACH POST)
- 13 1-3" x 1'-0" CELLPAK (PROVIDED & INSTALLED BY FUTURE CARRIER)
- 14 3/4" FLEX CONDUIT
- 15 BELLSOUTH EXTERNAL TERMINAL BOX TO HAZARD LIGHT CONTROLLER (IF REQUIRED)
- 16 6" x 6" NEMA 3R RAINTIGHT THROUGH SQUARE D 206S OR EQUAL PROPOSED 1" CONDUIT FOR P.O.T.S. LINE TO HAZARD LIGHT CONTROLLER (IF REQUIRED)
- 17



2 TELEPHONE SPLICE BOX DETAIL
SCALE: N.T.S.

3 NOT USED
SCALE: N.T.S.

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED
ZCDB	06/26/2025	WIS	PRELIMINARY	JK
ZCDB	06/26/2025	WIS	REVISED ZONING	JK

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER PAK:
6652560

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET TITLE:
H-FRAME DETAILS

SHEET NUMBER:
E-3

REVISION:
ZCDB



ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED BY
ZDB	06/26/2025	WIS	PRELIMINARY	JK
ZDB	06/26/2025	WIS	REVISED ZONING	JK

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

PICTURE CARRIER I/P:
1652560

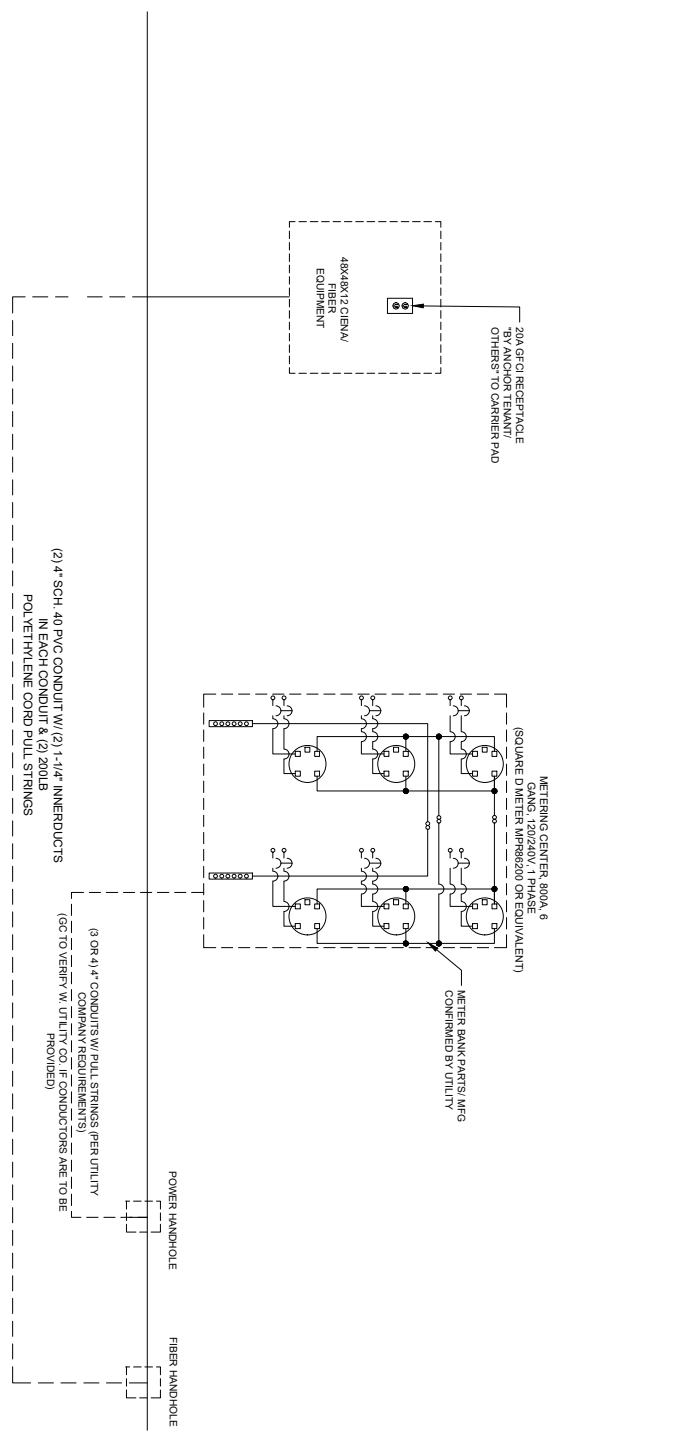
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**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET NUMBER: **E-4**

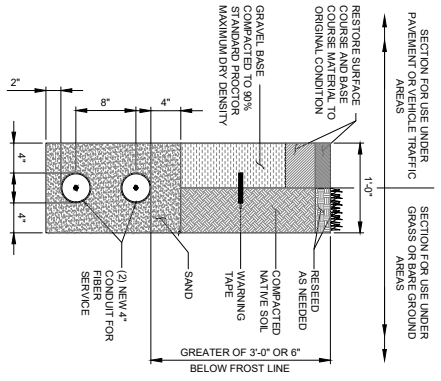
DIVISION: **ZCDB**

SHEET TITLE: **SINGLE LINE DIAGRAM**

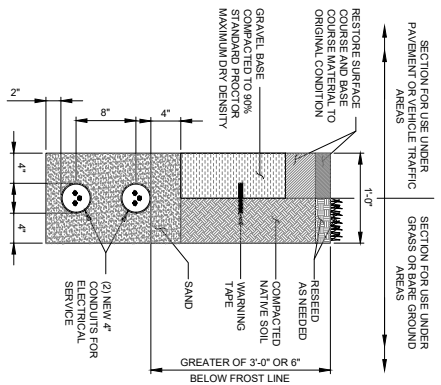
1 NOT USED
SCALE: N.T.S.



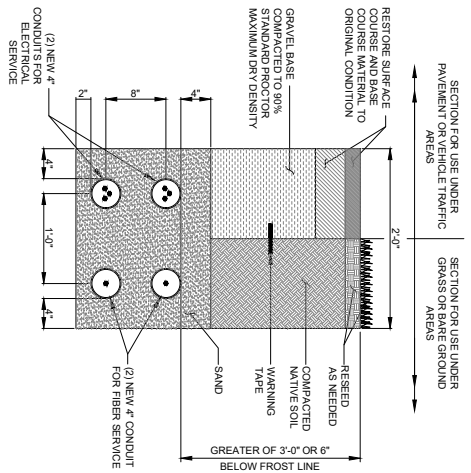
2 ELECTRICAL SINGLE-LINE DIAGRAM
SCALE: N.T.S.



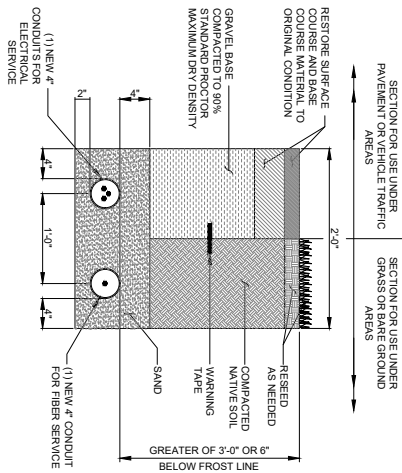
1 FIBER TRENCH DETAIL
SCALE: N.T.S.



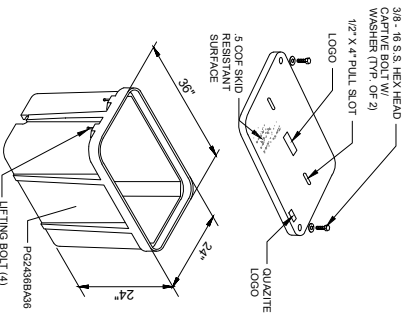
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SCALE: N.T.S.



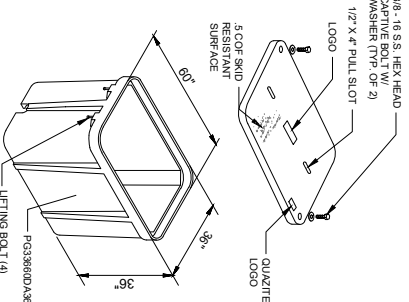
3 JOINT UTILITY TRENCH DETAIL
SCALE: N.T.S.



6 JOINT UTILITY TRENCH DETAIL
SCALE: N.T.S.



4 2' X 3' QUARTZITE PULL BOX DETAIL
SCALE: N.T.S.





5 3' X 5' QUARTZITE PULL BOX DETAIL
SCALE: N.T.S.

NOTE:
ALL STUB-UP CONDUITS
INSIDE PULL BOXES WILL BE 8"
PULL STRINGS AND CAPS

NOTE:
QUARTZITE OR EQUIVALENT
FOOT TRAFFIC AND TRAFFIC
PAVED VERSION

NOTE:
ALL STUB-UP CONDUITS
INSIDE PULL BOXES WILL BE 8"
PULL STRINGS AND CAPS

NOTE:
QUARTZITE OR EQUIVALENT
FOOT TRAFFIC AND TRAFFIC
PAVED VERSION

REV	DATE	BY	DESCRIPTION	ISSUED FOR:

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CITY SWITCH SITE NAME:
DURANT

CITY SWITCH SITE ID:
OKC031-A-001

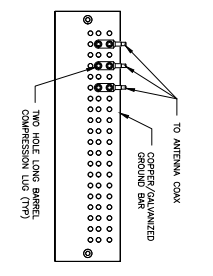
FIGURE CARRIER I/P:
66522600

SITE ADDRESS:
**314 SHADY CREEK ROAD
DERANT, OK 74701**

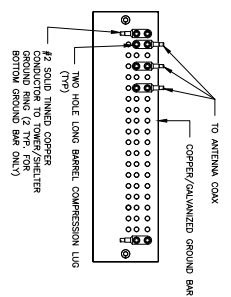
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UTILITY DETAILS

SHEET NUMBER:
E-5

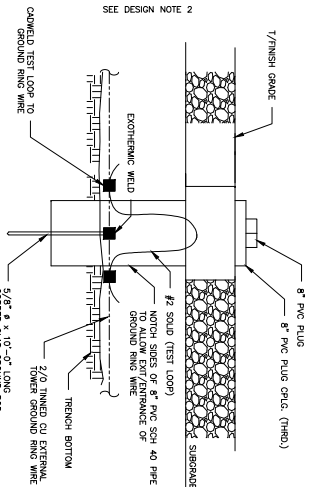
DIVISION:
ZCDB



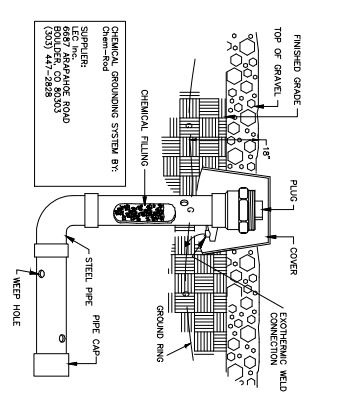
1 ANTENNA GROUND BAR DETAIL
SCALE: NOT TO SCALE



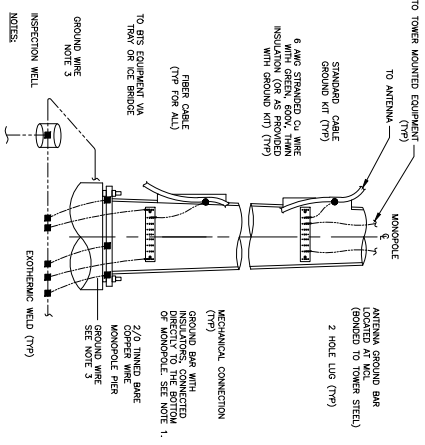
2 TOWER/SHELTER GROUND BAR DETAIL
SCALE: NOT TO SCALE



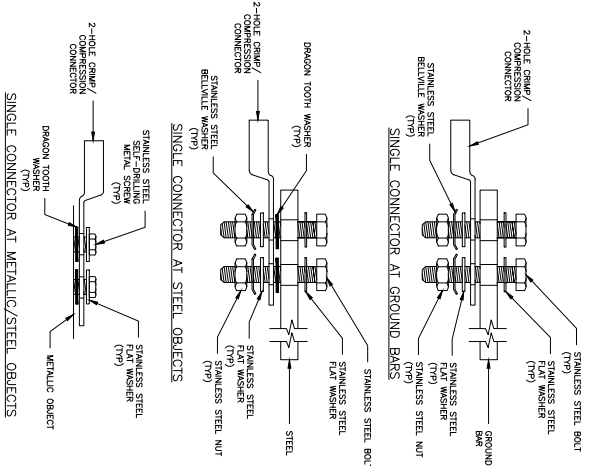
3 INSPECTION WELL DETAIL
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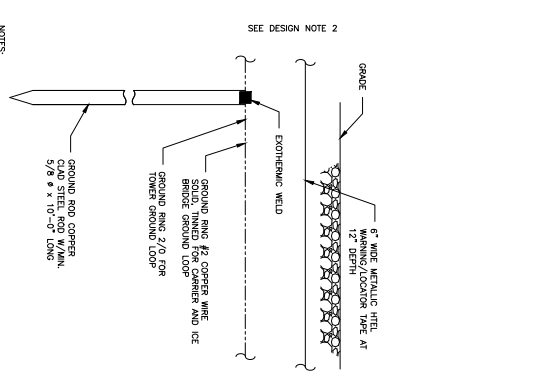
4 CHEM. ROD DETAIL
SCALE: NOT TO SCALE



5 TYPICAL ANTENNA CABLE GROUNDING
SCALE: NOT TO SCALE



6 HARDWARE DETAIL FOR EXTERIOR CONNECTIONS
SCALE: NOT TO SCALE



7 GROUND ROD DETAIL
SCALE: NOT TO SCALE

REV	DATE	BY	CHKD	DESCRIPTION	ISSUED FOR:
Z001	06/25/2025	WIS	WIS	PRELIMINARY	NR
Z002	06/25/2025	WIS	WIS	REVISED ZONING	NR

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
0NCD031-A-001

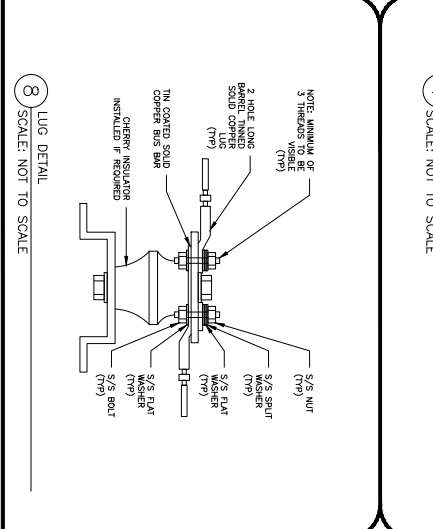
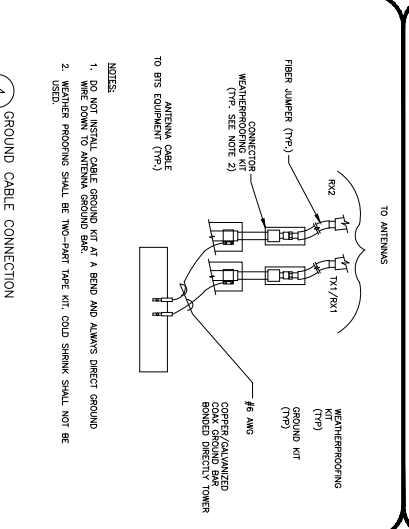
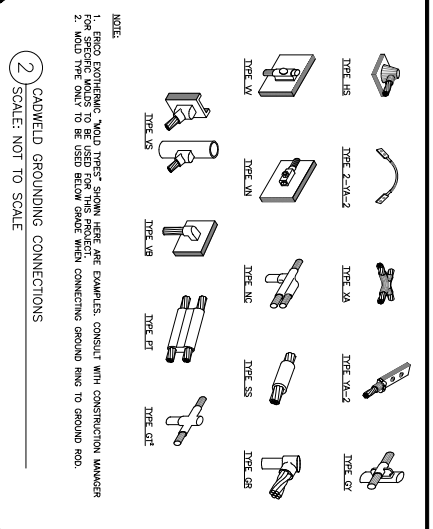
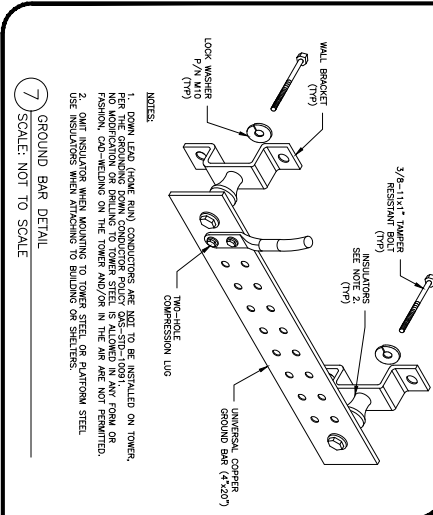
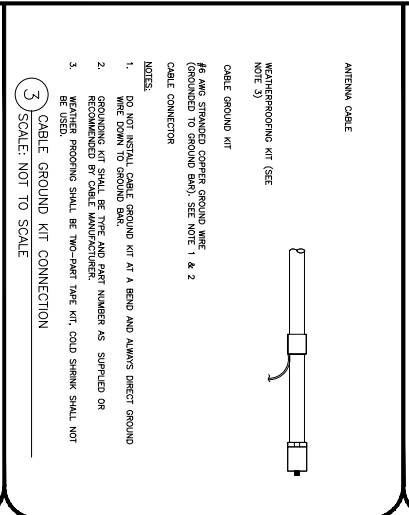
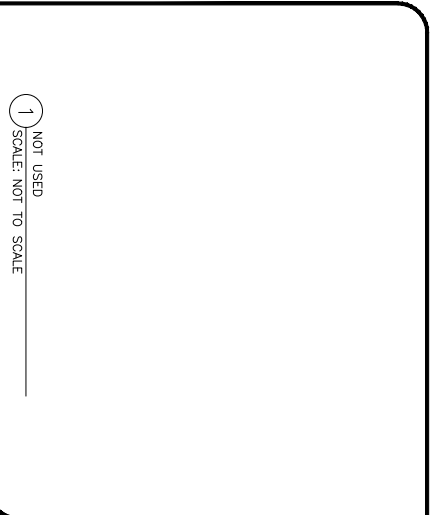
PICTURE CARRIER P/N:
16522560

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET TITLE:
GROUNDING DETAILS

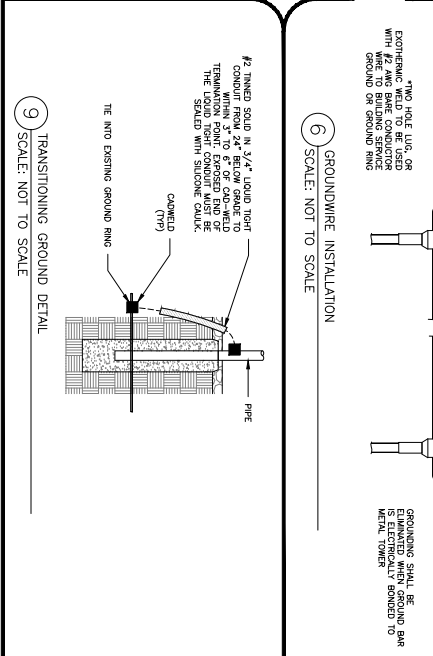
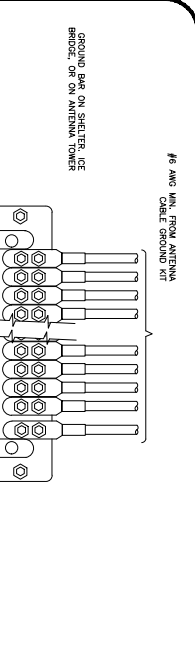
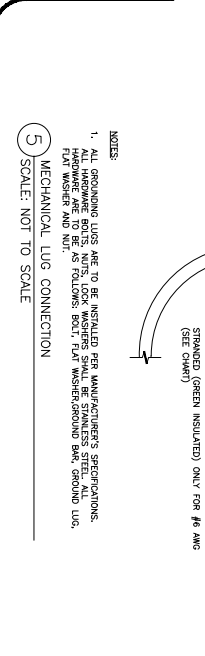
SHEET NUMBER:
G-2

REVISION:
ZCDB



WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#6 AWG SOLID TINNED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#2 AWG STRANDED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#2/0 AWG STRANDED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#4/0 AWG STRANDED	YAC6-2N	1/2" - 16 NC 5 X 2 BOLT

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#6 AWG SOLID TINNED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#2 AWG STRANDED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#2/0 AWG STRANDED	YAC6-2TC38	3/8" - 16 NC 5 X 2 BOLT
#4/0 AWG STRANDED	YAC6-2N	1/2" - 16 NC 5 X 2 BOLT



CITYSWITCH

BROADUS SERVICES

ISSUED FOR:

REV	DATE	BY	DESCRIPTION	REVISED
001	06/20/2025	WIS	PRELIMINARY	NR
002	06/20/2025	WIS	REVISED ZONING	NR

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CITYSWITCH SITE NAME: **DURANT**

CITYSWITCH SITE ID: **OKC031-A-001**

PICTURE CARRIER I/P: **16522560**

SITE ADDRESS: **314 SHADY CREEK ROAD DURANT, OK 74701**

SHEET NUMBER: **G-3**

REVISION: **ZCDB**

ELECTRICAL - GROUNDING ROD SYSTEM NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPICES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPICES, AND ALL OTHER CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS. ALL CONNECTIONS SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUNDING CONDUCTOR SHALL HAVE A MINIMUM 2" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT #90393 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) #99391 (OR EQUAL)
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE A CONDUCTIVE RUST AND CORROSION INHIBITOR (188) COPPER SHIELD OR EQUIVALENT) APPLIED TO CONNECTION.
4. INSTALL ALL GROUND RODS VERTICALLY IN UNDISTURBED GARTH WHERE SOUND ROD IS ENCOUNTERED. INSTALL MAX 45 ANGLE W/AY FROM EQUIPMENT. TOWER OR OTHER ABOVE GROUND ELEMENTS BEING CONDUCTIVE SHALL BE BOUND TO THE GROUNDING SYSTEM WITH #2 SPTC EXOTHERMICALLY WELDED TO THE POST. BOND SWING GATE TO GATE POST WITH #40 FLEXIBLE COPPER STRANDED CONDUCTOR (WELDING CONDUCTOR OR SIMILAR). ALL CONNECTIONS SHALL NOT BE EXOTHERMICALLY WELDED WITH COLD-GALVANIZED PAINT APPLIED AFTER WELDING.
5. BOND ALL CONDUCTIVE ELEMENTS TO GROUNDING SYSTEM THAT ARE WITHIN 5 FT OF ANY PART OF GROUNDING SYSTEM OR WITHIN 20 FT OF TOWER RING USING SIMILAR SYSTEMS AS APPLIED TO FENCE OR OTHER ABOVE GROUND ELEMENTS.
6. ALL DETAILS ARE SHOWN IN GENERAL. ITEMS ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO THE SPECIFIC SITE CONDITIONS.
7. UTILITY COMPANY COOPERATION: ELECTRICAL CONTRACTOR SHALL CONFER THAT ALL WORKS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID. THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COSTS IN THE BID.
10. THIS GROUNDING SYSTEM HAS BEEN DESIGNED TO ACHIEVE A RESISTANCE MEASUREMENT PERFORMANCE OF FURTHER ACTION.
11. GROUND RINGS ARE TO BE INSTALLED A MINIMUM OF 2'-0" FROM EQUIPMENT AND TOWER.

ELECTRICAL - GROUNDING ROD SYSTEM NOTES:

1. GROUND RODS SHALL BE INSTALLED WITH CLOSER THAN 10 FT APART.
2. RING OR RADIAL.
3. ALL BELOW GRADE GROUND RINGS AND GROUND LEADS SHALL BE #2 AWG SOLID, TINNED BARE COPPER WIRE.
4. ALL BELOW GROUND CONNECTIONS SHALL BE EXOTHERMIC WELDS.
5. LINES PROVIDED WITH A FACTORY APPLIED LEAD, ALL CONNECTIONS TO GROUND BARS SHALL BE BURNDY HYDROD COMPRESSION LUGS OR EQUAL.
6. STEEL SHALL BE TO BARE METAL, GRIND GALV. FINISH OR PAINT OFF PRIOR TO WELDING. BARE GALV. FINISH OR PAINT AS REQUIRED. M/TOT PAINT COLOR.
7. ALL LUG CONNECTIONS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OF APPROVED EQUAL.
8. ALL MECHANICAL CONNECTIONS SHALL HAVE CONDUCTIVE ANTIOXIDANT COMPOUND APPLIED BETWEEN COMPRESSION LUG AND PICTURE.

LEAD IDENTIFICATION & DESCRIPTION:

1	RING, EXTERNAL, BURIED WIRODS	#2 SPTC	55	MGRFBG TO CABLE AT ENTRY	#6 LSTR
1A	RING, CONCRETE ENCASED	#2 SPTC	56	MGRFBG TO AC PWR/RADII XMITR	#6 LSTR
2	DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE	57A	MGRFBG TO CBL GROUND/RUNWAY	#20 LSTR
3	RING TO BLDG STL FRAME	#2 SPTC	58A	#41A TO ASBLE FRAME	#2 LSTR
4	RING TO ASBLE FRAME	#2 SPTC	58B	#41B TO CHD SOL FRAME GRND	#6 LSTR
	GROUND RODS (SOLID) FROM LEAD #1	NEC 250.66	60-69	NOT USED	
5	RING TO GROUND BAR	(2) #2 SPTC	90	GENERATOR FRAME TO EXT RING	#2 SPTC
6	RING TO EXT MTL OBJECT	#2 SPTC			
7	DEEP ANODE TO MGB	NEC 250.36			
8	AC PANEL TO WATER METER	NEC 250.36			
9	EXT WATER TO INT WATER PIPES	NEC 250.36			
10	INT WATER PIPE TO MGB	NEC 250.36			
11	NOT USED				
12	AC PANEL TO MGB	NEC 250.36			
13	AC PANEL TO BLDG STL FRAME	NEC 250.36			
14	MGRFBG TO BLDG STL FRAME	NEC 250.36			
14C	MGRFBG TO ROOF WALL MTL PNL	#10 LSTR			
15	MGRFBG TO FGB-HE SAME FLOOR	#20 LSTR			
16	NOT USED				
16A	EGPBG TO CABLE ENTRY PACK	#10 LSTR			
17	MGB TO CABLE SHIELDING	#6 LSTR			
17A	EGPBG TO CABLE SHIELDING	#6 LSTR			
18	MGRFBG TO F-10 SPICE SHELF	#1 LSTR			
19	LOWEST MGRFBG TO HIGHEST FGB	#20 LSTR			
20	LEAD 18 TO OTHER FGB - 4"	#20 LSTR			
20A	MGRFBG TO BRANCH AC PNL	#6 LSTR			
20A	NEAREST GRIND TO DISCONNECT PNL	NEC 250.66			
20B	GWB TO AC DISTR PNL	#6 LSTR			
21	MGRFBG TO INT HALO	#2 LSTR			
21A	INTERIOR GREEN HALO	#2 LSTR			
21B	INT HALO TO EXT RING	#2 SPTC			
21C	INT HALO TO EQUIPMENT MTL	#6 LSTR			
22	ROOF TOWER RING TO ROOF GRND	NFPA 720			
23	MGRFBG TO EGPBG, SAME FLOOR	#1 LSTR			
23A	MGRFBG TO CR-HF LINR PROT	#6 LSTR			
24	EGPBG TO EACH PROTECTOR ASSEMBLY	#6 LSTR			
24A	LOWER PROT TASSY TO UPPER	#6 LSTR			
25	RING TO NEAREST LIGHTNING ROD	#2 SPTC			
26	LIGHTNING ROD STAY TO NEAREST MTL	#2 SPTC			
27	RING TO NEAREST LIGHTNING ROD	(2) #2 SPTC			
28	RING TO SHIELDING RING	(2) #2 SPTC			
29	BRANCH AC PNL TO BITTY CHG FRM	NEC 250.11			
30	BRANCH AC PNL TO OUTLETS	NEC 250.11			
31	MGRFBG TO PWR, BITTY FRAMES	#20 LSTR			
32	#31 TO BATTERY CHARGER FRAME	#6 LSTR			
33	#31 TO BATTERY BACK FRAME	#6 LSTR			
34	#31 TO PCU FRAME	#6 LSTR			
35	#31 TO DCU FRAME	#6 LSTR			
36	#31 TO PCU FRAME	#6 LSTR			
37	MGRFBG TO BITTY RETURN	NEC 250.14.5			
37A	MGRFBG TO RTN TERM CARB SUPP	#6 LSTR			
38	FGB TO PCU GR	#72MCM LSTR			
38A	FGB TO PCU GB CARRIER SUPPLY	#20 LSTR			
39	PCU BUS TO DCU DISTRIBUTION	#6 LSTR			
40	DC BUS DUCT TO MGRFBG	#6 LSTR			
41A	MGRFBG TO #98	#20 LSTR			
42-44	NOT USED				
45	MAN AC PNL TO BRANCH AC PNL	NEC 250.11			
46	BRANCH AC PNL TO RED OUTLET	NEC 250.11			
47	FGB TO INTEG FRM	#2 LSTR			
48	LEAD #81 TO INTEG FRM	#6 LSTR			
49	INTEG FRM TO EQUIP SHELF	BY FAB ENERS			
50	PCU BITTY RET TO #51	#20 LSTR			
51	#50 TO TRANS FROM ISO DC PWR	#6 LSTR			
52	TRANS FRM FUSE TO FRM GR BAR	#8 LSTR			
53A	MGRFBG TO P5P/808B	NEC 250.22			
54	MGRFBG TO STATIC DEVICES	#6 LSTR			



REV	DATE	BY	DESCRIPTION	ISSUED FOR:
Z001	06/25/2025	WIS	PRELIMINARY	
Z002	06/25/2025	WIS	REVISED ZONING	

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CITYSWITCH SITE NAME:
DURANT

CITYSWITCH SITE ID:
OKC031-A-001

PLOTURE CARRIER P/N:
16522560

SITE ADDRESS:
**314 SHADY CREEK ROAD
DURANT, OK 74701**

SHEET NUMBER:
G-4

DIVISION:
ZCDB



12"

8"

1 FCC REGISTRATION SIGN
WHITE GREEN BACKGROUND WHITE BLACK LETTERING.
LOCATION: GATE & BASE OF TOWER
QUANTITY: 2



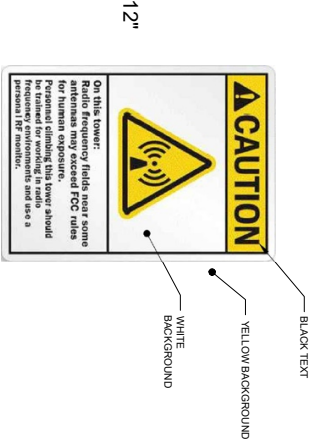
2 CITY SWITCH SIGN
WHITE BLACK BACKGROUND BLUE LETTERING
LOCATION: GATE & BASE OF TOWER
QUANTITY: 1



10"

14"

3 DANGER NO TRESPASSING SIGN
WHITE BLACK BACKGROUND WHITE BLACK LETTERING
LOCATION: GATE & BASE OF TOWER
WHERE ACCESS GATE INSTALLED (QTY: 2)



12"

8"

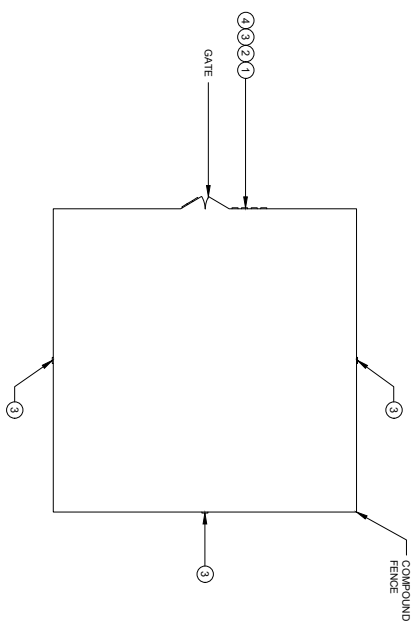
4 RF EXPOSURE CAUTION SIGN
WHITE YELLOW BACKGROUND BLACK LETTERING
MOUNTING LOCATION: BASE OF TOWER
QUANTITY: 1

NOTE:
TECHNICAL SIGNS AND SPECIFICATIONS DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

SIGNAGE NOTES:

- SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT MATERIAL AND FINISHED WITH LONG LASTING UV RESISTANT COATING.
- SIGNS EXCEPT WHERE NOTED OTHERWISE SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE. ALL FABRICATED MATERIALS SHALL BE OF SIMILAR METALS AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
- ADDITIONAL E911 ADDRESS AND FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
- SIGNS NEED NOT BE PLACED IF ACCURATE AND APPROPRIATE SIGNAGE ALREADY EXISTS.

NOTE:
ALL SIGNS TO BE PROVIDED AND INSTALLED BY GC UNLESS OTHERWISE NOTED.



5 OVERALL SIGN PLACEMENT PLAN VIEW
SCALE: N.T.S.



ISSUED FOR:					
REV	DATE	BY	DESCRIPTION	PREPARED BY	DATE
ZCDB	06/28/2023	WIS	PRELIMINARY	JK	
			REVISED ZONING		

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CITY SWITCH SITE NAME:
DURANT

CITY SWITCH SITE ID:
OKC031-A-001

FUTURE CARRIER I/P:
46522600

SITE ADDRESS:
314 SHADY CREEK ROAD
DURANT, OK 74701

SHEET TITLE:
SITE SIGNAGE

SHEET NUMBER:
SS-1
DIVISION:
ZCDB

Exhibit G

Zoning Narrative Addressing Code

This narrative aims to address all relevant sections of the City's zoning ordinance related to the proposed antenna support structure. The goal is to demonstrate that the project complies with all necessary land use regulations and to provide transparent, accurate, and comprehensive information throughout the zoning review process. Please find CitySwitch's responses to the City's Code requirements underlined and in italics.

CHAPTER 153: ANTENNA AND ANTENNA SUPPORT STRUCTURES

Section

- 153.01 Definitions
- 153.02 Franchises
- 153.03 Removal of abandoned antennas
- 153.04 Annual reporting
- 153.05 Reasonable defense against prosecution
- 153.06 Building permit required
- 153.07 Bond for antenna support structure and antenna removal
- 153.08 Application and permit requirement for all antenna and antenna support structures
- 153.09 Site plan review
- 153.10 Antenna support structures and antennas mounted on existing structures

§ 153.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

ANTENNA. Any structure or device used to collect or radiate telephone, radio, television, or electromagnetic waves or microwave signals. The antenna may include both directional antennas, such as panels and dishes (including microwave reflectors/ antennas) and omni-directional antennas such as whips. For the purposes of this chapter, an ANTENNA is a device of at least 36 inches in height, width or diameter.

ANTENNA SUPPORT STRUCTURE. Any tower, monopole, mast, pole, tripod, box frame, or other structure utilized for the purpose of supporting, stabilizing, bearing the weight of or reinforcing transmission, retransmission and/or reception equipment or antenna for telephone, electromagnetic, radio, television or microwave signals.

EIA-222. Electronics Industries Association Standard 222, "Structural Standards for Steel Antenna Towers and Antenna Support Structures."

LATTICE TOWER. A metal truss, self-supporting structure designed to support fixtures which hold one or more antennas and related equipment.

MAIN STREET DISTRICT. An area of the city bounded between East First Avenue on the east, West Fifth Avenue on the west, Beech Street on the north, and Arkansas Street on the south.

MONOPOLE. A self-supporting pole type structure, tapering from base to top and so designed to support fixtures which hold one or more antennas and related equipment.

NON-WHIP ANTENNA. An antenna which is not a whip antenna, such as a dish antenna, panel antenna, and the like.

WHIP ANTENNA. An omni-directional dipole antenna of cylindrical shape which is no more than six inches in diameter.(Prior Code, § 154.01) (Ord. 1298, passed 1-11-2000)

§ 153.02 FRANCHISES.

The facilities and structures of franchised cable television providers are governed by the provisions of the franchise contract.

- Response: This subsection does not apply to this CUP request.

(Prior Code, § 154.02) (Ord. 1298, passed 1-11-2000)

§ 153.03 REMOVAL OF ABANDONED ANTENNAS.

Any antenna or antenna support structure that is not operated for a continuous period of six months shall be considered abandoned, and the owner of such antenna or structure shall remove same within 90 days of receipt of notice from the Building Official, notifying the owner of such abandonment. If such antenna or structure is not removed within the 90 days, the Building Official may cause such antenna and/or antenna support structure to be removed at the owner's expense. If there are (or were) two or more users of a single support structure, then this provision shall not become effective until all users cease using the structure.

- Response: The requirement to remove the abandoned antennas is acknowledged, and the Applicant will notify the City if all tenants on the proposed tower remove their equipment for a continuous six-month period.

(Prior Code, § 154.03) (Ord. 1298, passed 1-11-2000)

§ 153.04 ANNUAL REPORTING.

Within 90 days of the enactment of this chapter and during each January thereafter, providers of broadcast/reception services operating in the city shall provide the city with a current master plan of all broadcast/reception equipment, including detailed maps, showing the precise locations, and characteristics of all antenna support structures and antennas serving any portion of the city and indicating coverage areas for current and reasonably expected future antenna support structures and antennas. Updating documents shall be provided to the city within three months of their creation.

- Response: The Applicant acknowledges this requirement and will inform the providers on the tower of this obligation.

(Prior Code, § 154.04) (Ord. 1298, passed 1-11-2000)

§ 153.05 REASONABLE DEFENSE AGAINST PROSECUTION.

It shall be an affirmative defense to prosecution for violation of a provision of this code that compliance with the provision would prohibit lawful broadcast/reception services. In addition, any broadcast/reception service prohibited by the zoning and land use ordinances may apply for a variance with the City Council. Upon showing that strict application of the regulation would prohibit or have the effect of prohibiting lawful broadcast/reception services, the City Council may grant a variance, consistent with the spirit and intent of this chapter, to the extent necessary to prevent the prohibition.

(Prior Code, § 154.05) (Ord. 1298, passed 1-11-2000)

- Response: This section is not applicable.

§ 153.06 BUILDING PERMIT REQUIRED.

(A) Antennas and antenna support structures, except those used by a properly permitted cable television franchisee or branch of federal, state, or local government shall be permitted and located only in accordance with this code after the applicant has complied with the requirements of this code of ordinances.

(B) Administrative rejection of an application for a permit to erect an antenna or antenna support structure under this code may be reconsidered by the Municipal Planning Commission as a request for a conditional use permit. Rejection of the conditional use permit request may be appealed to the City Council.

- Response: The Applicant is applying for a conditional use to construct an antenna support structure in the A-1 Agriculture zone. If approved by the city council, CitySwitch agrees to maintain the tower according to city code.

(Prior Code, § 154.06) (Ord. 1298, passed 1-11-2000)

§ 153.07 BOND FOR ANTENNA SUPPORT STRUCTURE AND ANTENNA REMOVAL.

(A) Before a building permit can be issued for an antenna support structure or antenna, the applicant must pay a cash amount equal to the entire cost as estimated by an engineer to remove the antenna support structure and antenna should it become abandoned.

(B) In lieu of cash payment, the applicant may file an executed surety bond with the City Clerk to guarantee recovery of the antenna support structure and antenna removal costs. The amount of the bond shall be 100% surety and sufficient to cover one and one-half times the entire cost, as estimated by the engineer, of the removal of the abandoned antenna support structure and antenna. The term of the bond shall be for the expected life of the antenna support structure and antenna.

(Prior Code, § 154.07) (Ord. 1298, passed 1-11-2000)

- Response: Before applying for a building permit, CitySwitch agrees to either pay a cash amount equal to the total estimated cost or submit an executed surety bond with the City Clerk that is sufficient to cover one and a half times the total cost of removing the tower and antenna, as estimated by an engineer, if the support structure and antenna are abandoned.

§ 153.08 APPLICATION AND PERMIT REQUIREMENT FOR ALL ANTENNA AND ANTENNA SUPPORT STRUCTURES.

(A) Ownership. The applicant for a building permit to construct a telecommunications tower or antenna must be the owner of the property or his or her legal agent or possess a signed and legally notarized statement from the property owner indicating his or her consent. Any leased area must be large enough to accommodate the tower or antenna and support facilities and include access to a public street or accessible parking area. Purchase or ownership of a separate parcel may require platting and improvements before construction permits can be issued.

- Response: If the Conditional Use is approved, CitySwitch understands that the property owner or the property owner's legal agent must submit a signed and notarized statement from the property owner authorizing the building permit application.

(B) Site plan. Prior to the issuance of a building permit a site plan shall be submitted by the applicant to the Building Official in such a manner as will satisfy all of the following requirements:

(1) No antenna support structure or antenna, microwave reflector/antenna or associated foundations, anchors, or support wires may be located within any required front, side or rear yard or closer than five feet to any property line;

- *Response: The proposed tower and ground equipment will meet all required setbacks for the tower and associated ground equipment (see Exhibit F, Zoning Drawings, Sheet ZD-2)*

(2) Access to an antenna support structure and related facilities or buildings must be through a locked gate with the antenna support structure equipped with an appropriate anti-climbing device;

- *Response: The proposed fence will have a gate with a lock to secure the equipment compound. The proposed 8' fence will be topped with three strands of barbed wire to prevent access to the equipment compound and tower (See Exhibit F, Zoning Drawings, Sheet C-4)*

(3) Any antenna support structure and related facilities or buildings must be similar in color and character to the main or adjoining building or structure or blend with the landscaping and other surroundings in the immediate vicinity to the extent practical. The antenna support structure and the related facilities or buildings shall be enclosed by a screen eight feet in height, using a chain link or wrought iron fence with an evergreen hedge or a totally opaque screening fence or a masonry wall. This enclosure shall be paved or graveled and kept weed-free. Equipment or vehicles not necessary for direct support of the use shall not be stored or parked on the site unless repairs to the facility are being made or unless the zoning district permits such a storage use;

- *Response: Existing trees north of the tower toward US Hwy 75 and south will help screen the lower part of the proposed tower, and the ground lease area will not be visible from the highway. The proposed tower is approximately .30 miles (1,563' 52") north of the Hwy 78 and Shady Creek intersection, and the ground equipment compound will not be visible from this distance. The proposed tower is similar in color and character to the existing tower within the same search ring.*
- *An 8-foot chain-link fence, accompanied by an evergreen hedge with 3-gallon-sized plants installed every five feet on center, will be provided to secure and screen the equipment compound.*
- *The equipment compound (enclosure) will be graveled and maintained weed-free.*
- *No storage of any kind, including vehicles or equipment, will be permitted in the lease area.*
- *See Exhibit F, Zoning Drawings, Sheets ZD-3, C-1, C-4 and G-1)*

(4) The antenna support structure shall be erected and operated in compliance with current Federal Communications Commission and Federal Aviation Administration rules and regulations and other applicable federal and state standards;

- *Response: The tower owner agrees to construct and maintain the proposed tower in accordance with all FCC, FAA, and other relevant federal and state rules, regulations, and standards.*
- *See Exhibit H, FAA Determination of No Hazard and FCC Antenna Structure Registration*

(5) A commercially used antenna support structure must be:

- (a) Used by two or more broadcast/ reception services; or

- Response: The proposed tower has a reinforced structural framework, ensuring long-term flexibility and capacity for up to five tenants.
- This will allow for continuous network improvements by the four wireless providers (AT&T, DISH Wireless, T-Mobile, and Verizon).
- Ground space for the four major providers is shown in Exhibit F, Zoning Drawings, on various sheets.
- No additional structural modifications to the tower or foundation are expected.

(b) Designed and built so as to be capable of use by two or more broadcast/reception services while allowing no more than three degrees of twist and sway at the top elevation. The owner of the antenna support structure must certify to the city that the antenna is available for use by another broadcast/ reception service on a reasonable and nondiscriminatory basis at a cost not exceeding the market value for the use of the facilities, provided space is available at the time of the request.

- Response: CitySwitch certifies that the antenna support structure is available for use by other broadcast and reception services on a reasonable and nondiscriminatory basis, at a cost not exceeding fair market value, subject to space availability at the time of request.
- See Exhibit O

(6) No lettering, symbols, images, or trademarks large enough to be legible from any public street shall be placed on or affixed to any part of an antenna support structure, antenna array, or antenna other than as required by FCC regulations regarding tower registration or other applicable law. No commercial advertising, signage, or flag shall be allowed on any antenna support structure. This shall not prevent the joint use of a legal existing sign structure in an appropriate zoning district as a support mechanism for an antenna;

- Response: CitySwitch confirms that no signage, advertising, or markings will be added to the antenna structure except as required by law.

(7) The need for the antenna support structure at the proposed site shall be documented as a part of the site plan, including an assessment of the existing antenna support structures in the vicinity of the city, noting why existing structures are unsuitable or unavailable;

- Response: The applicant acknowledges the Code requirement to document need and evaluate existing antenna support structures. AT&T is already collocated on the only tower nearby, demonstrating good-faith compliance with the City's policy of minimizing new towers. However, the existing structure cannot support AT&T's planned network upgrades and long-term service needs. The proposed monopole location stays within the provider's search ring, maximizes distance from nearby residences, and aligns with the Future Land Use Map's commercial designation, ensuring the facility meets technical requirements while remaining compatible with surrounding land uses.
- See Exhibit I, Search Ring
- See Exhibit J, Propagation Maps

(8) Antenna support structures should be constructed to minimize potential safety hazards. Antenna support structures and antennas shall be constructed so as to meet or exceed the most recent EIA-222 standards. Prior to issuance of a building permit, the Building Official shall be provided with an engineer's certification that the tower's design meets or exceeds those standards. All antenna support structures shall be located in such a manner that if the structure should fall along its longest dimension, it

will remain within property boundaries and avoid residential structures, public streets, utility lines and any other antenna support structure;

- Response: The proposed antenna support structure will be constructed in full compliance with the latest EIA/TIA-222 standards for antenna towers and supporting facilities. Before issuing a building permit, a licensed professional engineer will submit certification to the Building Official confirming that the tower's design meets or exceeds these standards. The tower is designed with a fall zone entirely contained within the parent parcel, ensuring that even in the unlikely event of structural failure, the tower will remain within property boundaries and will not impact existing residential structures or public streets. The site plan and engineering documents demonstrate adherence to these safety standards, minimizing potential hazards and ensuring the facility does not pose risks to surrounding land uses.

(9) Antenna support structures, antennas, and related facilities and buildings shall be located to minimize their number, height, and obtrusiveness in order to minimize visual impacts on the surrounding area and in accordance with the following policies:

(a) Ensure that the height of antenna support structures and antennas has the least visual impact and is no greater than required to achieve service area requirements and potential collocation;

- Response: The applicant affirms compliance with the Code requirement to minimize the height and visual impact of antenna support structures. The proposed facility is a 155-foot monopole with a 5-foot lightning rod, totaling 160 feet. This design is similar in height to the nearby 150-foot monopole and remains well below the City's maximum allowable height of 200 feet. The tower has been engineered to support up to five tenants, maximizing collocation opportunities and reducing the likelihood of needing additional towers in the future.
- The proposed height is the minimum needed to meet AT&T's continuous network coverage goals during the transition from the existing tower to the new one, while still providing sufficient capacity for collocation.
- Finally, using a monopole design specifically recognized in the Code as the preferred tower type provides a sleek profile that the City desires to reduce skyline impacts.

(b) Demonstrate that the selected site for a new antenna support structure provides the least visual impact on residential areas and the public rights-of-way. Analyze the potential impacts from other vantage points in the area to illustrate that the selected site provides the best opportunity to minimize the visual impact of the proposed facility. The antenna support structure and antenna should be obscured by vegetation, tree cover, topographic features, and buildings or other structures to the maximum extent feasible. All landscaping requirements of the particular zoning district shall be complied with fully. If security lighting is installed, such light shall be directed into the site and only triggered by motion detectors. Any related unmanned equipment building shall not contain more than 750 square feet of gross floor area and shall not be more than 12 feet in height;

- Response: The proposed monopole has been carefully sited to minimize visual impact on residential neighborhoods and public rights-of-way, in line with Code requirements. The site selection leverages the existing dense vegetation and tree cover along the eastern and northern boundaries, which naturally conceal the lower part of the facility from most viewpoints. Additionally, the tower is placed toward the north of the site, closer to existing commercial land

uses on the north and south sides of US Hwy 75, and farther from residential existing neighborhoods west of Red Bud Lane and to the northwest of US Hwy 75.

- Photo simulations and existing condition images show that the structure will have limited visibility from nearby residences, with the closest being about 0.30 miles away, and that views from public corridors, such as US Highway 75, are partially blocked by topography and nearby vegetation. The tower is designed as a monopole, the least obtrusive tower type, and remains well below the maximum permitted height.
- To further minimize visual impact, the project will include the necessary evergreen hedge landscaping around the lease area and direct any required security lighting inward using motion activation.
- Any related equipment enclosure will not exceed 750 square feet in area or 12 feet in height, ensuring that accessory facilities maintain a minimal footprint at the tower's base.
- Collectively, these measures show that the proposed siting offers the best chance to reduce visual impacts while adhering to all development standards.

(c) Historically significant landscapes shall be protected. The view of and vistas from architecturally and/or historically significant structures should not be impaired or diminished by the placement of antenna support structures or antennas; and

- Response: The City did not identify any historically significant landscapes or views from vistas associated with architecturally or historically significant structures during the pre-development conference.

(d) The Planning Commission may recommend a variance and the City Council may grant a variance to a requirement for an antenna support structure when it is determined that such a variance better accomplishes the policies set out in this chapter than would a strict application of the requirement. Such variance, however, shall be no greater than necessary to accomplish the policies established herein.

- Response: Acknowledged and understood.

(10) No signals or lights or illumination shall be permitted on an antenna support structure unless required by the Federal Communications Commission, the Federal Aviation Administration, or the city;

- Response: The FAA does not require lighting for the proposed tower, and CitySwitch does not plan to install any additional lighting on the tower.

(11) If any additions, changes, or modifications are to be made to the antenna support structure, the Building Official shall have the authority to require proof, through the submission of engineering and structural data, that the addition, change, or modification conforms to structural wind load and all other requirements of the current building code adopted by the city;

- Response: The applicant acknowledges the authority of the Building Official to require proof of compliance and will submit certified engineering and structural data verifying that any modification conforms to wind load, seismic load, and all other structural requirements of the current code and the **EIA/TIA-222 standard**.
- By committing to this compliance process, the applicant ensures that the tower will continue to meet all safety, structural integrity, and engineering standards throughout its service life.

(12) To enable the Building Official, Planning Commission, and/or City Council to access the visual impact of the proposed antenna support structure and antenna, the applicant shall submit color photo simulations showing the proposed site with a photo-realistic representation of the proposed structure as it would appear viewed from the closest residential property or from one-fourth mile in the direction of the nearest residentially zoned property, whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site, without the proposed antenna support structure and antenna;

- Response: To help the Building Official, Planning Commission, and City Council assess the visual impact of the proposed antenna support structure, the applicant is submitting color photo simulations with photo-realistic views of the tower from key vantage points.
- The nearest off-site residential dwelling units are located southwest of the subject site at the intersection of Red Bud Lane (E2055 Road) and N 1st Avenue, approximately 0.30 miles (1,563 feet) from the proposed tower. The before-and-after simulation shown is from this area looking north toward the tower. This image also captures the view from the closest A-1 zoned property not owned by the applicant, on the west side of Shady Creek Road with an address from N 1st Avenue. This tract, currently undeveloped and marked as commercial on the Future Land Use Map, is about 0.10 miles from the proposed tower.
- A second photo simulation was created from the north side of US Highway 75, looking south toward the proposed tower. This property is zoned A-1, designated as commercial in the Future Land Use Map, and located approximately 0.11 miles (584 feet) from the proposed tower.
- These photo simulations, along with existing condition photographs, demonstrate that the proposed structure is positioned in a manner consistent with surrounding and future non-residential land use patterns in the proposed tower's geographic area.
- Please see Exhibit K, Photo Simulations for these images

(13) The antenna support structure complies with all ordinances of the city not in conflict with this chapter;

- Response: The proposed antenna support structure has been designed to fully adhere to all applicable ordinances of the City that are not in conflict with this chapter's provisions. The facility will follow all development, building, and safety requirements set by the City, ensuring conformity with local regulations and community standards.

(14) Any antenna support structure legally erected prior to January 11, 2000 can be extended upward to accommodate additional antennas so long as the total height limitation of this chapter is not exceeded and permitting requirements of this chapter are met;

- Response: This subsection does not apply to this CUP request.

(15) In addition to the usual application fee for a request for a change in zoning, the applicant shall reimburse the city for the reasonable, actual cost to the city for the services of an engineer should one be required to review the application and provide engineering expertise;

- Response: The applicant agrees to reimburse the City for the reasonable, actual cost of engineering services required to review this application, in addition to the standard application fee.

(16) In order to minimize visual impacts that can result from the presence of antenna support structures, such structures and associated facilities may not exceed 200 feet in height. Monopole construction, free of guy-wire support systems, is encouraged whenever feasible. Compliance with all

requirements of the Building Code, including an engineer's structural certification of the antenna support structure, must be demonstrated before a construction permit can be issued;

- Response: The proposed antenna support structure is a monopole design standing 155 feet tall, with an additional 5-foot lightning rod, bringing the total height to 160 feet. This height is well below the City's maximum allowable limit of 200 feet. The monopole choice is made to reduce visual impact, as it does not require guy-wire supports and presents a cleaner, less obtrusive profile.
- The applicant will demonstrate full compliance with all relevant Building Code requirements before permit issuance, including submitting a licensed engineer's certification verifying the tower's structural integrity according to industry standards.

(17) No commercial antenna support structure shall be located closer than 200 feet to the boundary line of any property zoned or used for any residential purpose. All antenna support structures shall observe a minimum setback from any abutting street right-of-way equal to the combined height of the support structure and attached antennas. An exception maybe granted by the Building Official or the City Council where engineering documents indicate that the tower design will assure that a collapsing tower will fall within a smaller area. Under no circumstances, however, may a freestanding antenna support structure be located closer than 50 feet from the abutting street right-of-way. Setbacks from residentially zoned property do not apply to antennas attached to public utility structures exceeding 75 feet in height or to antennas placed wholly within a building;

- Response: The applicant requests an exception to the standard setback requirements by providing an engineer's letter certifying that the proposed monopole tower is structurally designed to collapse within a 50-foot radius of its base. This engineering assurance guarantees that the tower poses no risk to adjacent properties or rights-of-way, even though its placement does not strictly meet the standard separation distance.
 - Please see Exhibit M, Structural Engineering Letter and Structural Analysis
- Due to the unique shape of the parent parcel, approximately 325 feet wide along the southern boundary but narrowing to 90 feet at the northern boundary, the proposed tower location in the northern part of the site has been chosen to balance engineering and planning considerations. Positioning the tower here places it as close to the center of the designated search ring as possible, while also maximizing the distance from the nearest existing residential development along Red Bud Lane.
- The Future Land Use map designates the property for commercial development. Placing the tower within the northern part of the site aligns with this planned land use. By matching the facility with the FLUM, the proposal supports long-term planning goals and ensures the infrastructure investment complies with the City's adopted growth policies.
- Locating the tower in the northern part of the property also preserves the wider southern part of the parcel for future mixed-use or commercial redevelopment, as envisioned by the City's land use plan. This approach offers the greatest flexibility for site planning, circulation, and future development integration.

18) To minimize their proliferation, all reasonable efforts should be made to co-locate facilities on existing or new antenna support structures;

- Response: The City's Code prioritizes co-location as a means to reduce the need for new towers. In this case, AT&T has already co-located on the only existing tower nearby, meeting this requirement's goal. Due to increased network performance demands, AT&T now requires a dedicated site to serve the area reliably. There are no other towers or tall structures within

the search area or within two miles of the current facility that could fulfill these needs. Therefore, this application should be viewed not as a refusal to co-locate but as a natural next step in network expansion. By first using the existing tower and now proposing a new facility, the provider has upheld the City's policy of minimizing unnecessary towers while ensuring residents and businesses continue to receive reliable wireless service.

19) An antenna may be placed wholly within any building legally permitted in a commercial, industrial, or health facilities district or in any publicly-owned building.

- Response: This subsection does not apply to this CUP request.

20) An antenna may be mounted flush to the exterior of buildings in a commercial, industrial, or health facilities zoned district if painted and integrated into the overall architectural design. An antenna may be attached to any utility structures (such as a water tower or electrical transmission tower) or public building not located in a street right-of-way, if the property is owned by a government or public agency;

- Response: This subsection does not apply to this CUP request.

(21) In the Main Street District, no antenna may extend above the building on which it is mounted unless it is made to appear as a part of the building and integrated into the overall architectural design;

- Response: This subsection does not apply to this CUP request.

(22) Except in the Main Street District, a roof-mounted non-whip antenna may extend ten feet above the building, provided that the antenna and supporting equipment is fully screened from view at street level;

- Response: This subsection is not applicable to this CUP request.

(23) Except in the Main Street District, a whip antenna may be mounted on the roof of a nonresidential building or structure, provided it does not exceed the height of the building by more than ten feet and it is located no closer to the perimeter of the building than its height above the roof;

- Response: This subsection does not apply to this CUP request.

(24) Antenna support structures and antennas of more than ten feet in height are prohibited within residentially zoned districts. The structures are allowed by right within the I-1 and I-2 Zoning Districts;

- Response: The subject property is zoned A-1 Agriculture, which the City considers part of the residential zoning category. Therefore, antenna support structures and antennas over 10 feet tall are not allowed by right in this district. The use is also not permitted in I-1 or I-2 zones, where such structures are allowed by right.
- In line with City guidance, the appropriate process is to obtain a Conditional Use Permit (CUP). As confirmed by Paul Cottrell, Community Development Director (email dated August 4, 2025), "The owner of the property would need to apply for a Conditional Use Permit."
- Please see Exhibit L, Email from City RE CUP.
- This application is submitted following that guidance and shows compliance with all relevant CUP findings and technical standards, including EIA/TIA-222 structural requirements, Building Code compliance, and siting measures to reduce visual and neighborhood impacts.

(25) Satellite and microwave dishes attached to antenna support structures shall not exceed four feet in diameter or six feet in diameter if attached to a lattice tower; or

- Response: CitySwitch acknowledges this requirement and will comply with the code requirement.

(26) All transmitting antennas, microwave dishes, and related equipment shall transmit with low wattage transmitters not to exceed 500 watts per channel.

- Response: The proposed wireless communication facility will fully adhere to the City's requirement that all transmitting antennas, microwave dishes, and related equipment use low-wattage transmitters that do not exceed 500 watts per channel. Modern wireless systems, including those used by AT&T, operate well below this limit, with individual radios typically transmitting at much lower power levels—often between 20 and 40 watts per channel for cellular antennas, and 1 to 10 watts per channel for microwave backhaul dishes.
- This design ensures that the facility not only complies with the ordinance but also minimizes any potential off-site impacts. The purpose of the regulation to permit low-power telecommunications facilities while preventing high-power broadcast operations is fully achieved by the proposed tower.

(Prior Code, § 154.08) (Ord. 1298, passed 1-11-2000) Penalty, see § 10.99

§ 153.09 SITE PLAN REVIEW.

An antenna support structure or antenna shall not be constructed or used within the city without all approvals and permits first having been secured. The Building Official shall approve or reject the site plan within 30 days of the zoning application being approved by the City Council. If applicable, or of the date of submittal of the site plan by applicant, whichever last occurs. In the event the site plan as originally submitted is incomplete, the 30-day review period does not commence until the Building Official determines the site plan, as amended, to be administratively complete.

- Response: The applicant understands and affirms that no antenna support structure or antenna will be constructed or used within the City until all required approvals and permits are obtained. The applicant will cooperate with the Building Official, Planning Commission, and City Council to ensure a complete submittal, and recognizes that the 30-day review process begins once the site plan is deemed administratively complete. This commitment reflects the applicant's intent to fully comply with both the spirit and the letter of the City's permitting requirements.

(Prior Code, § 154.09) (Ord. 1298, passed 1-11-2000)

§ 153.10 ANTENNA SUPPORT STRUCTURES AND ANTENNA MOUNTED ON EXISTING STRUCTURES.

- Response: This section does not apply to this CUP request.

(A) Building-mounted antennas of the non-whip type are allowed on nonresidential buildings and structures, provided the antenna is mounted flush with the exterior of the building so that it projects no more than 30 inches from the surface of the building to which it is attached and the antenna's appearance is such as to blend with the surrounding surface of the building.

(B) Associated equipment shall be placed either within the same building or in a separate building which matches the existing building in character and building materials or blends with the landscaping and other surroundings immediately adjacent to the separate building housing the equipment. Associated

equipment for roof-mounted antennas may be located on the roof of the building if it is not visible from the street.

(C) Before the Building Official may issue a building permit and at the time of application for a building permit to locate an antenna support structure or antenna on an existing building or other structure, the Building Official shall be provided with color photo simulations showing the site of the existing structure with a photo-realistic representation of both the proposed support structure and the existing structure or any proposed reconstruction of the structure as it would appear viewed from the closest residential property or from a distance of one-fourth mile in the direction of the nearest residentially zoned property, whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site without the proposed construction.

(D) Before the Building Official may issue a building permit and at the time of application for a building permit to locate an antenna support structure or antenna on an existing building or other structure, the Building Official shall be provided with an engineer certification that the roof and/or other support structure will support the proposed antenna and all associated equipment.

(Prior Code, § 154.10) (Ord. 1298, passed 1-11-2000)

Exhibit H

FAA Determination & FCC Antenna Structure Registration



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-ASW-14328-OE

Issued Date: 10/23/2024

Leslie Lindeman
Palm-Tech Consulting, LLC
11365 Little Bear Way
Boca Raton, FL 33428

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower OKC031 Durant
Location: Durnant, OK
Latitude: 34-02-17.05N NAD 83
Longitude: 96-22-21.23W
Heights: 631 feet site elevation (SE)
160 feet above ground level (AGL)
791 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 04/23/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2525, or natalie.schmalbeck@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-ASW-14328-OE.

Signature Control No: 635426176-636965336

(DNE)

Natalie Schmalbeck
Technician

Attachment(s)
Additional Information
Frequency Data
Map(s)

cc: FCC

BASIS FOR DECISION

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency (5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band. The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band.

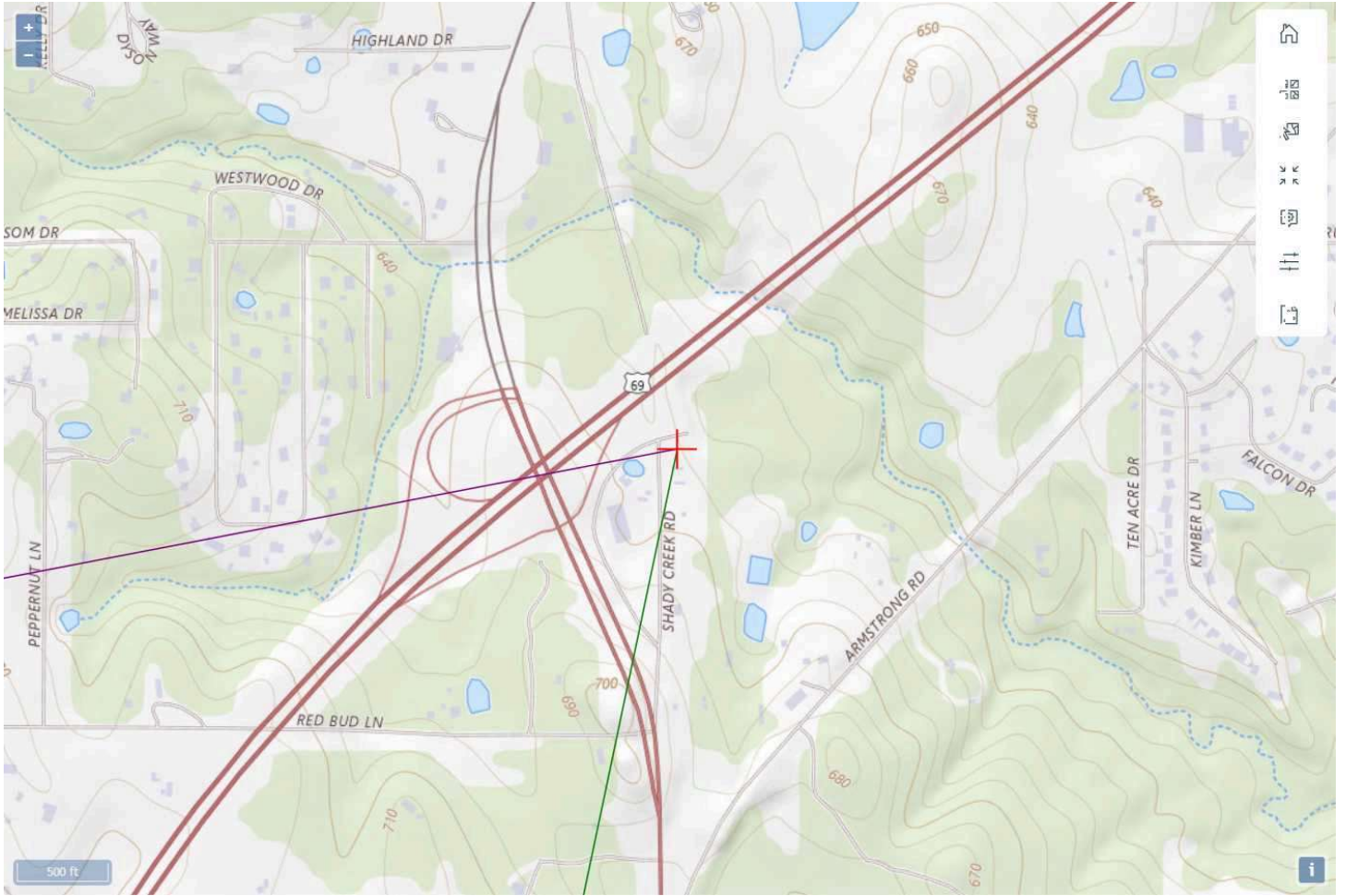
This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation. As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

Frequency Data for ASN 2024-ASW-14328-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3700	3980	MHz	1640	W



Registration 1329414

[Map Registration](#)

Registration Detail

Reg Number	1329414	Status	Granted
File Number	A1300733	Constructed	
EMI	No	Dismantled	
NEPA			

Antenna Structure

Structure Type MTOWER - Monopole

Location (in NAD83 Coordinates)

Lat/Long	34-02-17.1 N 096-22-21.2 W	Address	48 Shady Creek Road
City, State	Durant , OK		
Zip	74701	County	BRYAN
Center of AM Array		Position of Tower in Array	

Heights (meters)

Elevation of Site Above Mean Sea Level	192.4	Overall Height Above Ground (AGL)	48.8
Overall Height Above Mean Sea Level	241.2	Overall Height Above Ground w/o Appurtenances	47.2

Painting and Lighting Specifications

None

FAA Notification

FAA Study	2024-ASW-14328-OE	FAA Issue Date	10/23/2024
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Owner & Contact Information

FRN	0026497602	Owner Entity Type	Limited Liability Company
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Owner

CitySwitch II, LLC
 Attention To: Abby Mazzettii
 3715 Northside Parkway
 Suite 1- 200
 Atlanta , GA 30345

P: (404)857-0858
 F:
 E: abby.mazzetti@cityswitch.com

Contact

Hazlehurst , Marshall
 Attention To: Marshall Hazlehurst
 3715 Northside Parkway
 Suite 1- 200
 Atlanta , GA 30345

P: (404)518-2064
 F:
 E: marshall.hazlehurst@cityswitch.com

Last Action Status

Status	Granted	Received	11/25/2024
Purpose	Amendment	Entered	11/25/2024
Mode	Interactive		

Related Applications

11/25/2024 A1300733 - Amendment (AM)

Comments

Comments

None

History

Date

Event

None

Pleadings

Pleading Type

Filer Name

Description

Date Entered

None

Automated Letters

None

CLOSE WINDOW

Exhibit I

Search Ring

When planning a new wireless tower, engineers start by identifying an area known as a search ring. A search ring is not merely a suggestion; it is a scientifically modeled target zone where a new tower must be positioned to ensure reliable wireless coverage for a specific area in the network. The goal could be to improve coverage, capacity, and/or other network improvement objectives. This is especially critical as networks transition to 5G and beyond, where signal strength is more sensitive to location, interference, and obstructions.

A search ring is:

- Based on RF (radio frequency) engineering that accounts for:
 - Distance from existing antennas on other towers and base stations
 - Terrain and topography
 - Building density and tree cover
 - Spectrum used (800 MHz low-band, 1900 MHz mid-band, or 2400+ MHz high-band)
- A radius of 1/4 to 1/2 mile is a common standard for macro cell sites; however, this can vary by service provider and may be smaller or larger depending on the natural environment, licensed spectrum, and network improvement objectives.

Within the search ring, multiple candidate properties are evaluated, and land use factors are weighed, including but not limited to:

- Zoning compatibility
- Distance from residential dwelling units
- Visibility and aesthetic mitigation
- Vehicular access and public utilities
- Environmental factors like flood zones and wetlands

For this application, the provider's network engineer defined a 981-foot search ring (see Attachment). CitySwitch, the site acquisition team, and the service provider's network engineer evaluated multiple options within the search ring to identify the most suitable site and a property owner willing to sublease land for the proposed tower, which ultimately led to the location of the proposed tower.

On the attached map, the search ring's center is marked by the yellow push-pin icon, and the red circle indicates the 981-foot radius around it. The green circle with the white tower shows the proposed tower's location within the search ring.

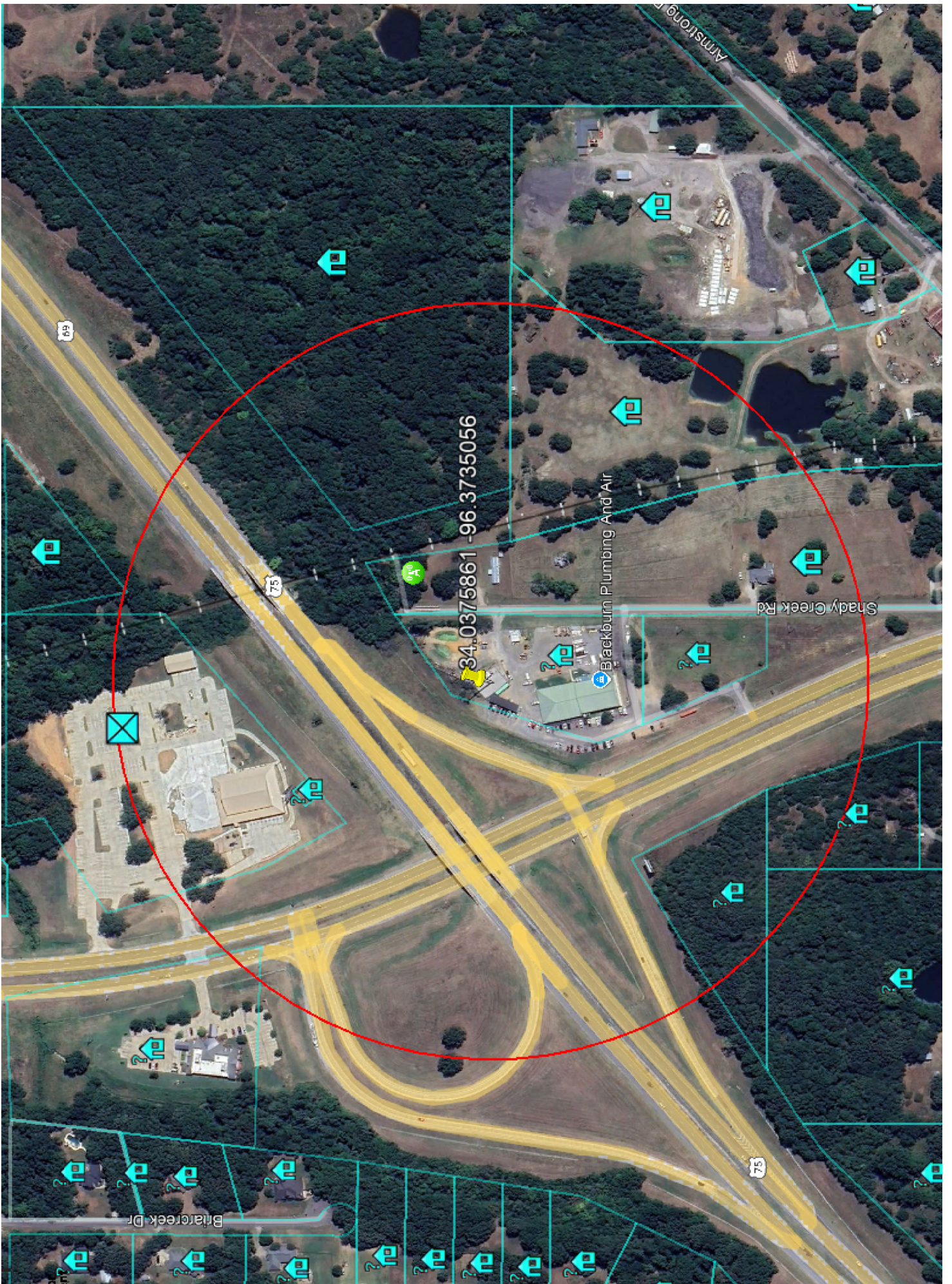


Exhibit J

Propagation Maps

Radio Frequency (RF) Propagation Maps

Propagation coverage maps are visual representations of wireless signal strength and coverage from the proposed antennas and radios on the tower. Network engineers create these maps using specialized software to simulate how signals will travel from the site based on features such as:

- Antenna mounting height and antenna type
- Terrain and elevation variations
- Vegetation, buildings, and obstructions
- Frequency band and transmission power

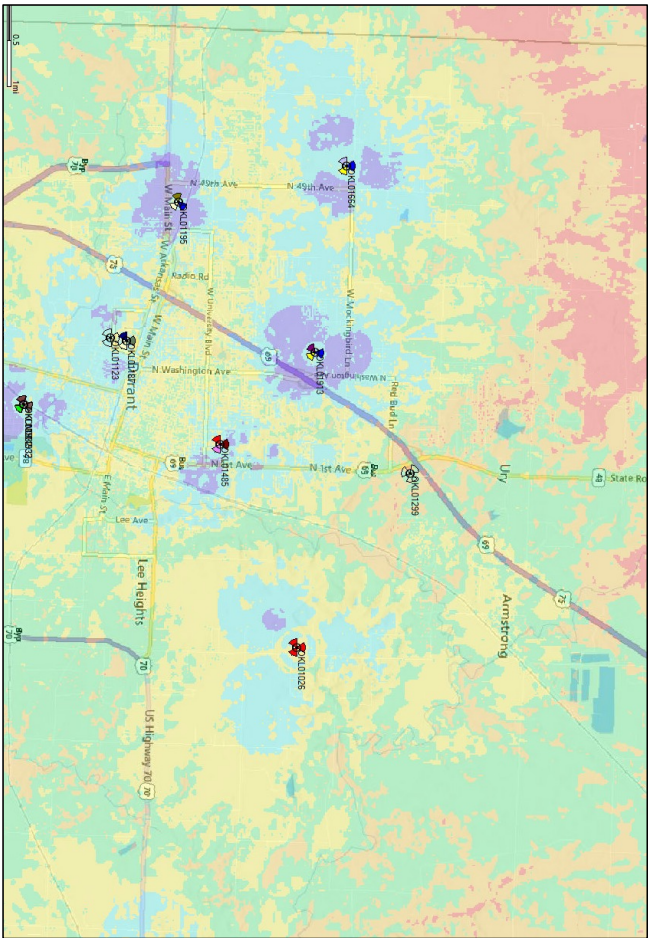
The maps display before-and-after coverage, demonstrating how the new facility will:

- Fill coverage gaps
- Improve signal strength and reliability
- Support future technologies like 5G/6G
- And improve access to public safety and emergency communications by cell phone

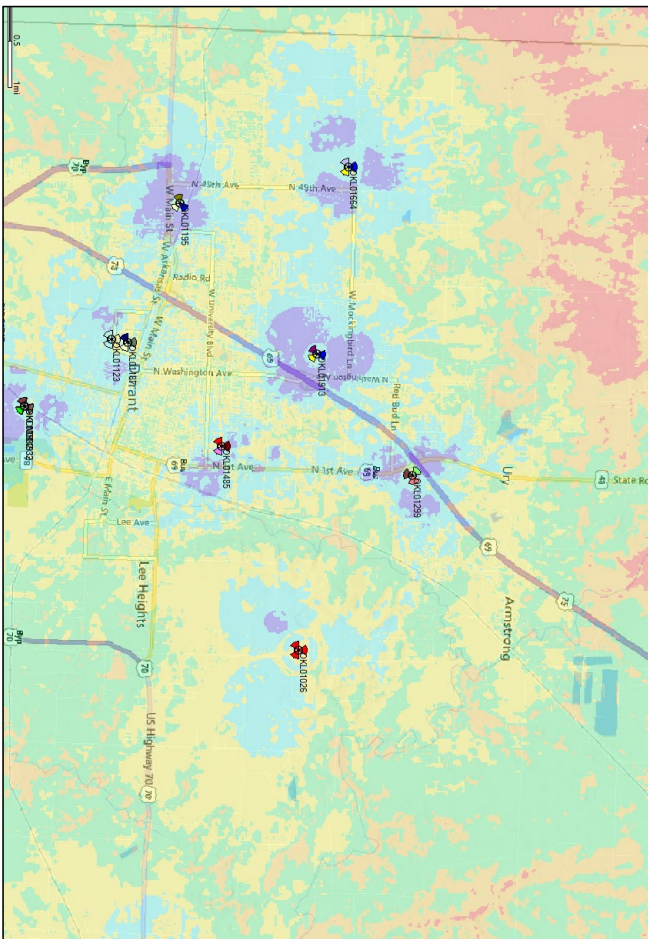
Different colors on the map indicate signal quality as explained in the table below:

Map Colors	RF Coverage	User Experience
Blues	Strongest signal (close to the transmitter, usually better than -65 dBm to -76 dBm range), effectively unusable.	Excellent voice/data coverage
Yellow and Green	Weak but potentially usable signal (-86 dBm to -96 dBm).	Reliable outdoor coverage, but indoor penetration may vary
Orange and Red	No coverage or extremely weak signal (below -106 dBm).	Coverage gaps or fringe areas, where devices may drop connections.

Coverage without Relo Site



Coverage with Relo Site



LTE:RSRP (dbm) - Indoor	
Blue	RSRP Level (DL) (dbm) >=-66
Cyan	RSRP Level (DL) (dbm) >=-76
Light Green	RSRP Level (DL) (dbm) >=-86
Yellow	RSRP Level (DL) (dbm) >=-96
Orange	RSRP Level (DL) (dbm) >=-106
Red	RSRP Level (DL) (dbm) >=-116

Exhibit K

Photo Simulations

Visual Analysis – Photo Simulations

To assist local officials and community members in evaluating the potential visual impact of the proposed wireless facility, this application includes a series of photo simulations showing the site before and after construction.

These visual simulations are produced by combining real photographs taken from key public viewpoints with accurately scaled renderings of the proposed tower and equipment. Each simulation reflects:

- The tower height and design
- The view from residential properties
- A realistic preview of the tower’s visibility and design

The City’s Code, § 153.08(B)(12) requires, “the applicant shall submit color photo simulations showing the proposed site with a photo-realistic representation of the proposed structure as it would appear viewed from the closest residential property or from one-fourth mile in the direction of the nearest residentially zoned property, whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site, without the proposed antenna support structure and antenna”

Exhibit K, Page 1: Is a map showing a one-quarter mile radius around the proposed tower.

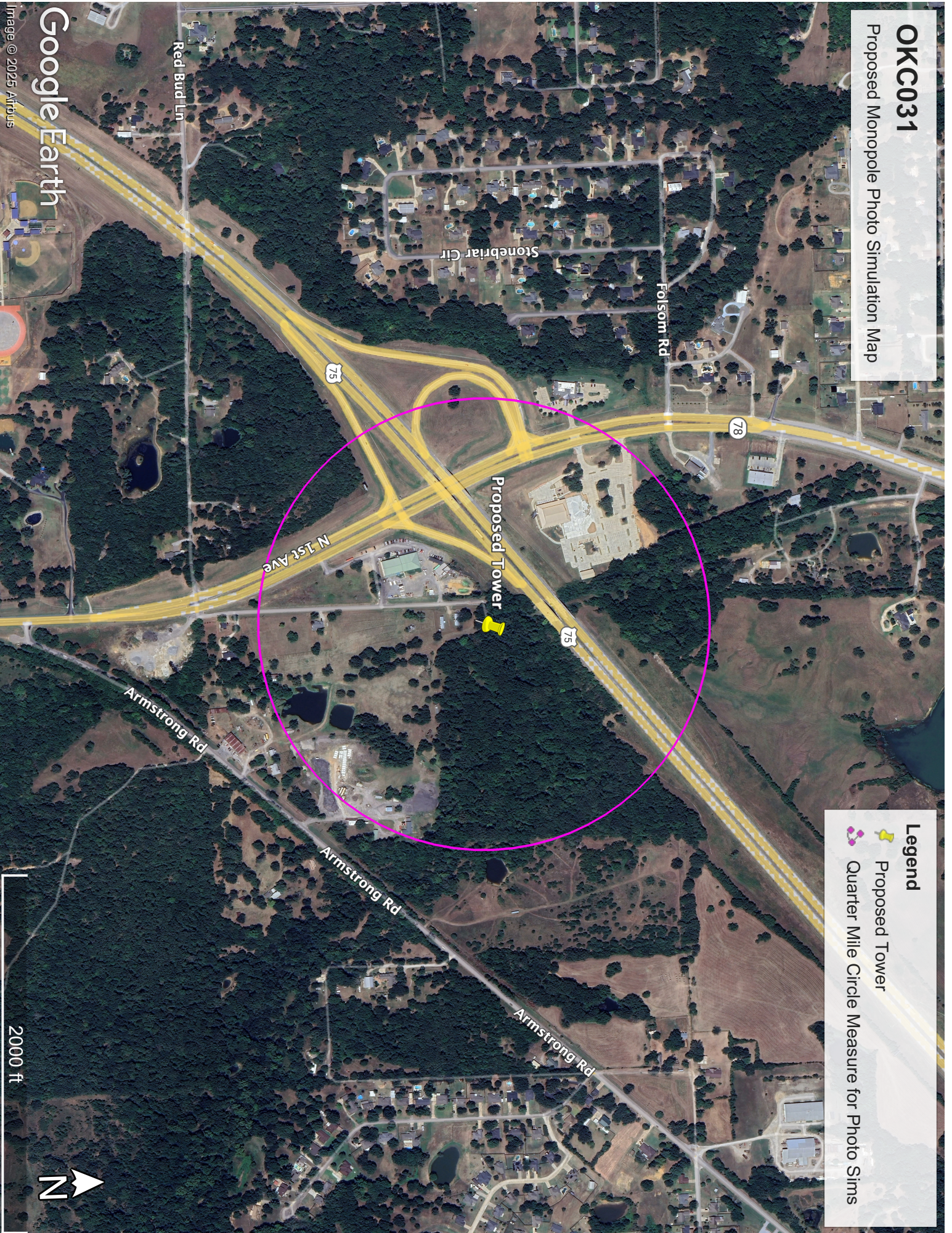
Exhibit K, Page 2: Is a map displaying the current zoning and the direction of the viewsheds for each photo simulation.

Exhibit K, Page 3: Is a view of the existing and proposed tower from the vicinity of Red Bud Land and N1st Avenue.

Exhibit K, Page 4: Is a view of the existing and proposed tower from the vicinity of US HWY 75.

OKC031

Proposed Monopole Photo Simulation Map



Legend

-  Proposed Tower
-  Quarter Mile Circle Measure for Photo Sims

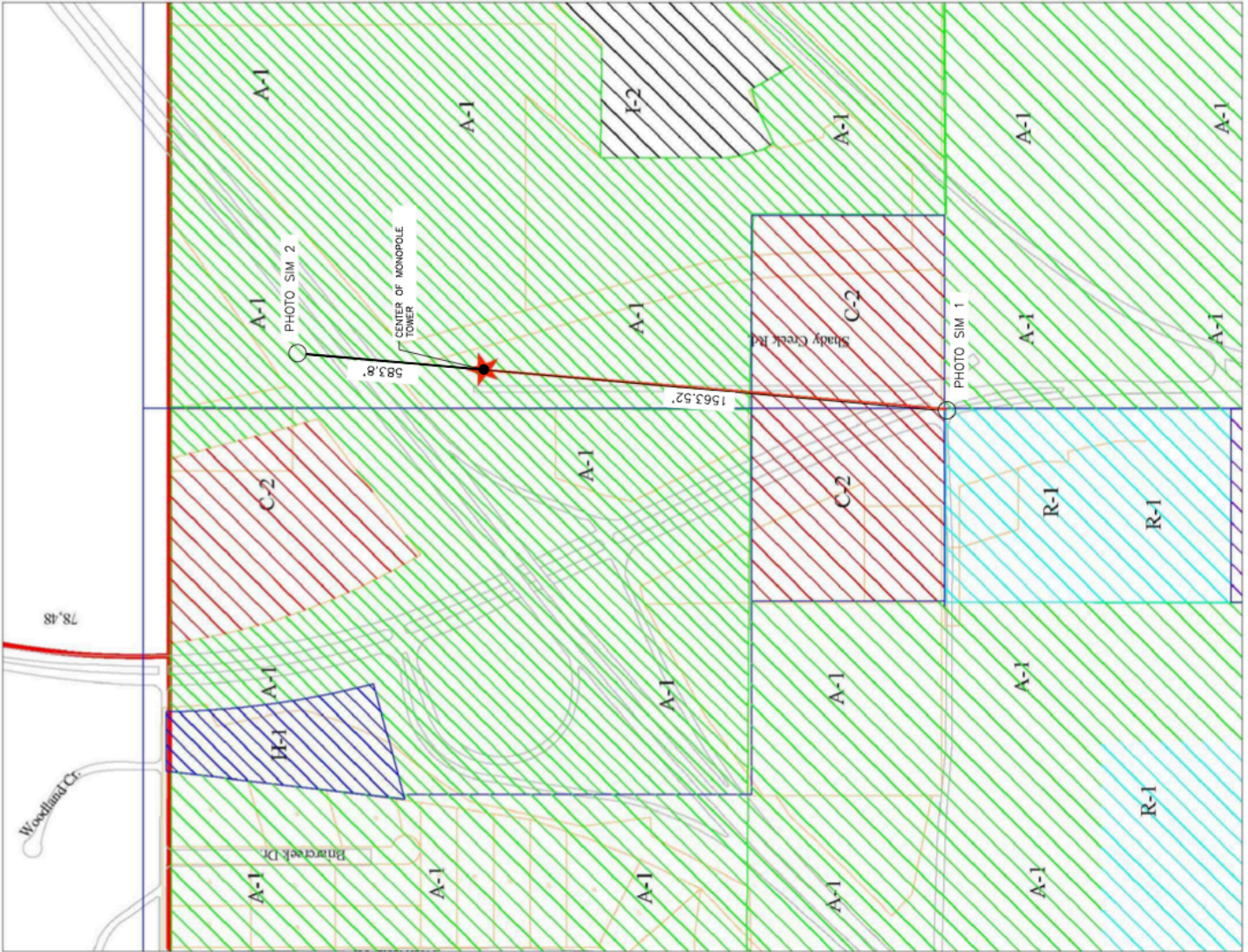
Google Earth

Image © 2025 Airbus

2000 ft



- LEGEND:
- A-1 GENERAL AGRICULTURAL DISTRICTA-1
 - GENERAL AGRICULTURAL DISTRICT
 - C-2 HIGHWAY COMMERCIAL & COMMERCIAL
 - RECREATION DISTRICT
 - R-1 SINGLE FAMILY RESIDENTIAL DISTRICT
 - H-2 HEAVY INDUSTRIAL DISTRICT
 - H-1 HEALTH FACILITIES DISTRICT
- 314 SHADY CREEK ROAD WILL BE THE OFFICIAL ADDRESS FOR THIS CELL SITE. LOCATION IS ZONED A1 (AGRICULTURE).



1 ZONING MAP WITH PHOTO SIM LOCATIONS
 SCALE: 1" = 200'-0" (FULL SIZE)
 1" = 400'-0" (11x17)



CITY SWITCH
OKC031-A-001 DURANT
48 SHADY CREEK ROAD
DURANT, OK 74701
155ft. MONOPOLE
SIMULATION
View from Red Bud Lane
approximately 1,560ft. south of site



Existing View



CITY SWITCH
OKC031-A-001 DURANT
48 SHADY CREEK ROAD
DURANT, OK 74701
155ft. MONOPOLE
SIMULATION
View from Highway 75
approx. 740ft. north-northeast of site



Existing View

Exhibit L

Email From City RE CUP

Outlook

Re: Proposed new antenna support structure

From Paul Cottrell <pcottrell@durant.org>

Date Mon 8/4/2025 1:40 PM

To Susan Rabold <Susan@wirelessofthings.com>

Cc comdev@durant.org <comdev@durant.org>

- § 153.08(B)(24) Antenna support structures and antennas of more than ten feet in height are prohibited within residentially zoned districts. The structures are allowed by right within the I-1 and I-2 Zoning Districts.
 - The property being considered for the new tower is zoned A-1, which is a residential zoning district. Is there a process to request a tower in this zoning designation, like a variance, CUP, or rezoning of the land? A site sketch is attached to this email along with the zoning map of the land that I received from Aaron (City GIS). The owner of the property would need to apply for a Conditional Use Permit.
- § 153.08(B)(8)(c) references historically significant landscapes. Please let me know if this property is near a historically significant area or viewshed. To our knowledge there are no historical sites in the area.
- § 153.08(B)(3) states that the tower and buildings must be “similar in color and character to the main or adjoining building or structure or blend with the landscaping and other surroundings in the immediate vicinity to the extent practical”.
 - An existing monopole tower is across the street, and the future applicant for this new tower is proposing a similar type and height antenna support structure. Do you think the City will support this design or should the applicant consider painting the tower and antennas a color like dark brown to blend with the nearby trees? I would say similar to the nearby existing pole would be ok.
- § 153.01 Definition of Monopole is a self-supporting pole-type structure, tapering from base to top ... What is the process to seek approval of a monopole without the tapering? The tower needs a much larger room inside for the cables, and as the tower tapers, the space inside the tower decreases, thereby limiting the use of the tower. I am unsure what would be needed in that situation. Possibly use a different type of support structure.
- Would the proposed tower be permitted (if approved) on the parcel as shown as a different land use, or is the tower’s lease area required to be subdivided out as a separate lot? The CUP would allow if approved the erection of the tower on the existing parcel without platting.
- You mentioned a possible 300-foot tower separation from other towers. Can you please double-check that and let me know the code section so I can document the requirement. For the life of me I am not able to find anything now that states a separation between towers. It may have been something I found in FAA guidelines but I have not seen anything in recent searches.
- I would look over 143.08 (B) 7 and (B) 17.

On Mon, Aug 4, 2025 at 12:43 PM Susan Rabold <Susan@wirelessofthings.com> wrote:

Thank you. I look forward to hearing from you.

Get [Outlook for iOS](#)

From: Paul Cottrell <pcottrell@durant.org>

Exhibit M

Structural Engineer Letter

Structural Analysis

A structural analysis is a certified engineering evaluation that ensures the proposed tower is designed to safely support all anticipated antenna and equipment loads under expected environmental conditions. The tower will be conducted in accordance with TIA-222-H standards (as amended), the nationally recognized code for wireless communication structures.

This report confirms:

- The tower's ability to withstand wind, ice, and seismic loads
- The maximum allowable loading for antennas, mounts, cables, and appurtenances
- That all structural elements—foundation, base plates, guy wires (if applicable), and welds—meet safety factors and design tolerances

The structural analysis is prepared and sealed by a licensed professional engineer and is required to demonstrate that the tower will operate safely for its intended use and lifespan.

§ 153.08 (B)(17) states, "No commercial antenna support structure shall be located closer than 200 feet to the boundary line of any property zoned or used for any residential purpose. All antenna support structures shall observe a minimum setback from any abutting street right-of-way equal to the combined height of the support structure and attached antennas. **An exception maybe granted by the Building Official or the City Council where engineering documents indicate that the tower design will assure that a collapsing tower will fall within a smaller area. Under no circumstances, however, may a freestanding antenna support structure be located closer than 50 feet from the abutting street right-of-way.**" [emphasis added by Applicant]

Attached is a letter from a Professional Engineer, licensed in the State of Oklahoma, stating the proposed tower is designed to have "a fall radius of 50 feet or less at ground level".

Following the letter is the structural analysis for the proposed tower.

August 29, 2025

Mr. Tim Cook
CitySwitch, LLC
1900 Century Place NE, Suite 320
Atlanta, GA 30345

RE: Proposed 155' Sabre Monopole for Durant, OK (Sabre #26-1772-JDS)

Dear Mr. Cook,

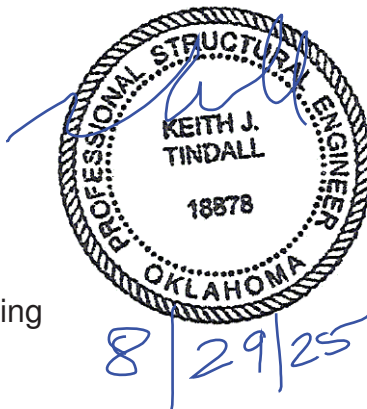
As shown in our Structural Design Report #26-1772-JDS dated August 29, 2025, the above referenced monopole has been designed for an Ultimate Wind Speed of 106 mph without ice and 30 mph with 1-1/2" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA 222-H-2017 "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Structures" to support five (5) wireless carriers.

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. This would effectively result in a fall radius of 50 feet or less at ground level. *Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Industries.*

Sincerely,

Keith J. Tindall, P.E., S.E.
Vice President, Telecom Engineering





Structural Design Report

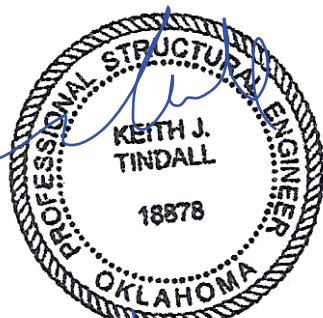
155' Monopole
Site: Durant, OK
Site Number: OKC031

Prepared for: CITYSWITCH LLC
by: Sabre Industries™

Job Number: 26-1772-JDS

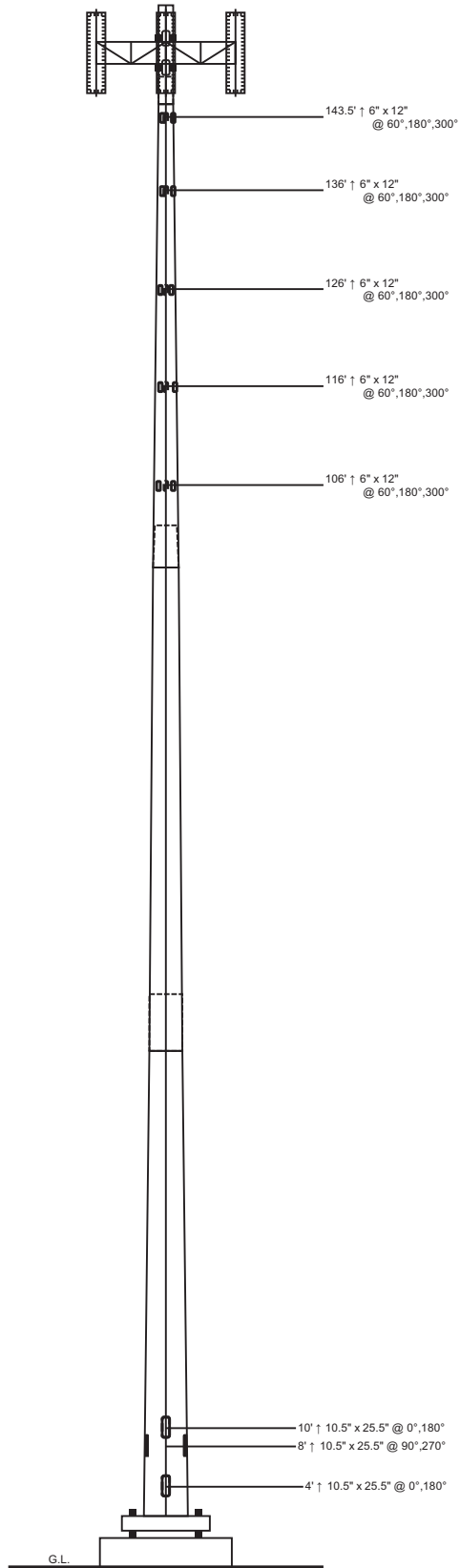
August 29, 2025

Monopole Profile.....	1
Foundation Design Summary (Option 1).....	2
Foundation Design Summary (Option 2).....	3
Pole Calculations.....	4-22
Foundation Calculations.....	23-31



8 | 29 | 25

Length (ft)	53'-3"	53'-6"	50'-0"	10'-0"
Number Of Sides	18	18	18	18
Thickness (in)	1/2"	7/16"	3/8"	1/4"
Lap Splice (ft)	5'-9"	28.37"	17.36"	16"
Top Diameter (in)	39.77"	42.12"	30.21"	18.57"
Bottom Diameter (in)	53.45"	0.257	54.56	488
Taper (in/ft)	16035	A572-65	5456	488
Grade		9335		
Weight (lbs)		154		
Overall Steel Height (ft)				



Designed Appurtenance Loading

Elev	Description	Tx-Line
150	3V-Boom - 14ft Face - 3ft Standoff	
150	(6) TPA65R-BU8D	
150	(3) AIR 6472 B77G B77M	
150	(3) RRU 4490	
150	(3) RRU 4890	
150	(3) Radio 4494 44B14 20B29	(4) WR-VG66ST-BR
150	(2) DC9-48-60-24-8C-EV	(2) FB-L98B-235-xxx
138	(1) 33,000 Sq. Inches (8,000 lbs) (below top)	(12) 1 5/8"
128	(1) 33,000 Sq. Inches (8,000 lbs) (below top)	(12) 1 5/8"
118	(1) 20,000 sq. in. (4000 lbs) (below top)	(12) 1 5/8"
108	(1) 20,000 sq. in. (4000 lbs) (below top)	(12) 1 5/8"

Design Criteria - ANSI/TIA-222-H

Wind Speed (No Ice)	106 mph
Wind Speed (Ice)	30 mph
Design Ice Thickness	1.50 in
Risk Category	II
Exposure Category	C
Topographic Factor Procedure	Method 1 (Simplified)
Topographic Category	1
Ground Elevation	632 ft
Seismic Importance Factor, Ie	1.00
0.2-sec Spectral Response, Ss	0.207 g
1-sec Spectral Response, S1	0.073 g
Site Class	D (DEFAULT)
Seismic Design Category	B
Basic Seismic Force-Resisting System	Telecommunication Tower (Pole: Steel)

Limit State Load Combination Reactions

Load Combination	Axial (kips)	Shear (kips)	Moment (ft-k)	Deflection (ft)	Sway (deg)
1.2 D + 1.0 Wo	73.83	37.26	4619.57	11.87	8.24
0.9 D + 1.0 Wo	55.39	37.29	4508.6	11.47	7.94
1.2 D + 1.0 Di + 1.0 Wi	129.87	5.35	733.19	1.99	1.38
1.2 D + 1.0 Ev + 1.0 Eh	76.5	1.84	254.01	0.69	0.48
0.9 D - 1.0 Ev + 1.0 Eh	52.62	1.84	245.17	0.65	0.45
1.0 D + 1.0 Wo (Service @ 60 mph)	61.56	10.69	1313.43	3.41	2.34

Base Plate Dimensions

Shape	Diameter	Thickness	Bolt Circle	Bolt Qty	Bolt Diameter
Round	66.25"	2.5"	60.5"	20	2.25"

Anchor Bolt Dimensions

Length	Diameter	Hole Diameter	Weight	Type	Finish
84"	2.25"	2.625"	2422	A615-75	Galv

Material List

Display	Value
A	2' - 9"

Notes

- 1) Antenna Feed Lines Run Inside Pole
- 2) All dimensions are above ground level, unless otherwise specified.
- 3) Weights shown are estimates. Final weights may vary.
- 4) Full Height Step Bolts
- 5) Tower Rating: 79.2%
- 6) This design is adequate to support 40,000 Sq. Inches (10,000 lbs) (below top) at 150', with (12) 1-5/8" lines.

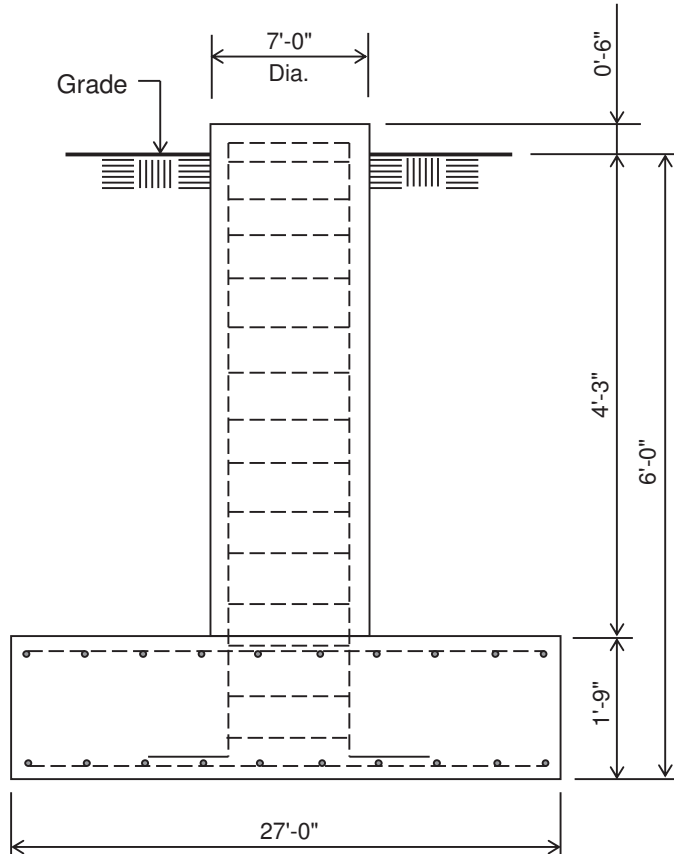
 <p>Sabre Industries INNOVATION DELIVERED</p>	<p>Sabre Industries 7101 Southbridge Drive P.O. Box 658 Sioux City, IA 51102-0658 Phone: (712) 258-6690 Fax: (712) 279-0814</p>	<p>Job: 26-1772-JDS</p>
	<p>Information contained herein is the sole property of Sabre Communications Corporation, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Communications Corporation.</p>	<p>Customer: CITYSWITCH LLC</p> <p>Site Name: Durant, OK OKC031</p> <p>Description: 155' Monopole</p> <p>Date: 8/29/2025 By: KJT</p>

Customer: CITYSWITCH LLC

Site: Durant, OK OKC031

155' Monopole

PRELIMINARY -NOT FOR CONSTRUCTION-



ELEVATION VIEW

(54.02 Cu. Yds.)

(1 REQUIRED; NOT TO SCALE)

Notes:

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-14.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on presumptive clay soil as defined in ANSI/TIA-222-H-2017. It is recommended that a soil analysis of the site be performed to verify the soil parameters used in the design.
- 6) 4.25 ft of soil cover is required over the entire area of the foundation slab.
- 7) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

Rebar Schedule for Pad and Pier

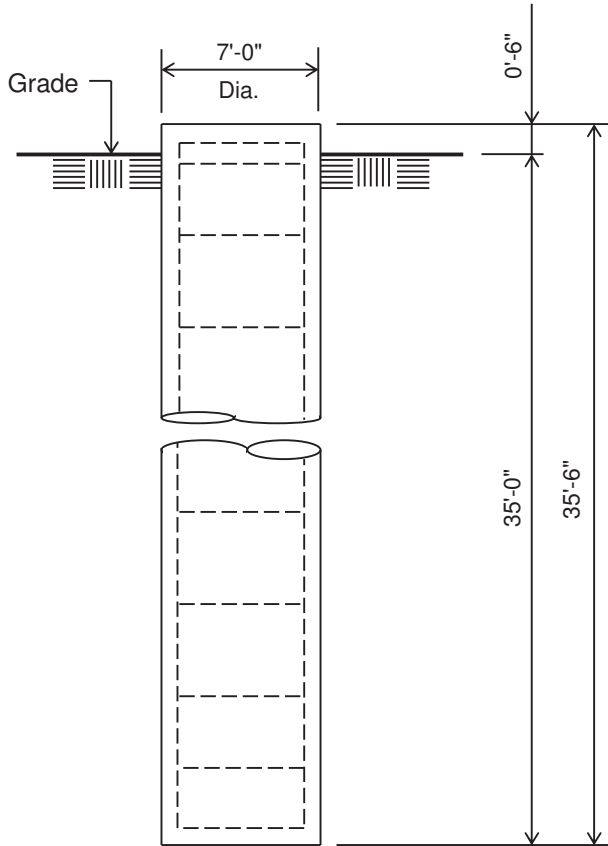
Pier	(44) #8 vertical rebar w/ hooks at bottom w/ #5 ties, (2) within top 5" of pier, then 4" C/C
Pad	(44) #10 horizontal rebar evenly spaced each way top and bottom (176 total)

Customer: CITYSWITCH LLC

Site: Durant, OK OKC031

155' Monopole

PRELIMINARY -NOT FOR CONSTRUCTION-



ELEVATION VIEW

(50.60 Cu. Yds.)

(1 REQUIRED; NOT TO SCALE)

Notes:

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-14.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on presumptive clay soil as defined in ANSI/TIA-222-H-2017. It is recommended that a soil analysis of the site be performed to verify the soil parameters used in the design.
- 6) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

Rebar Schedule for Pier	
Pier	(40) #10 vertical rebar w/ #5 ties, (2) within top 5" of pier, then 8" C/C

Processed under license at:

Sabre Towers and Poles on: 29 aug 2025 at: 9:42:08
 =====

155' Monopole / Durant, OK

* All pole diameters shown on the following pages are across corners.
 See profile drawing for widths across flats.

POLE GEOMETRY
 =====

ELEV	SECTION	No.	OUTSIDE	THICK	RESISTANCES	SPLICE	...OVERLAP...	w/t
ft	NAME	SIDE	DIAM	-NESS	◆*Pn ◆*Mn	TYPE	LENGTH	RATIO
			in	in	kip ft-kip		ft	
154.0	A	18	16.25	0.250	928.5 298.5			10.1
			18.13	0.250	1037.9 373.6			
146.7	A/B	18	18.13	0.250	1037.9 373.6	SLIP	2.75 1.83	
			18.36	0.375	1565.4 562.8			
144.0	B	18	18.36	0.375	1565.4 562.8			7.6
			29.56	0.375	2541.0 1494.3			
101.0	B/C	18	29.56	0.375	2541.0 1494.3	SLIP	4.25 1.73	
			29.93	0.438	2995.7 1776.8			
96.7	C	18	29.93	0.438	2995.7 1776.8			11.0
			41.26	0.438	4146.5 3417.8			
53.2	C/D	18	41.26	0.438	4146.5 3417.8	SLIP	5.75 1.67	
			41.90	0.500	4805.7 4011.7			
47.5	D	18	41.90	0.500	4805.7 4011.7			13.8
			54.28	0.500	6062.9 6593.5			
0.0								

POLE ASSEMBLY
 =====

SECTION	BASE	BOLTS	AT	BASE	OF	SECTION	CALC
NAME	ELEV	NUMBER	TYPE	DIAM	STRENGTH	THREADS IN	BASE
	ft			in	ksi	SHEAR PLANE	ELEV
							ft
A	144.000	0	A325	0.00	92.0	0	144.000
B	96.750	0	A325	0.00	92.0	0	96.750
C	47.500	0	A325	0.00	92.0	0	47.500
D	0.000	0	A325	0.00	92.0	0	0.000

POLE SECTIONS
 =====

SECTION NAME	No. of SIDES	LENGTH	OUTSIDE.DIAMETER		BEND RAD	MAT-ERIAL ID	FLANGE.ID		FLANGE.WELD .GROUP.ID..	
			BOT *	TOP *			BOT	TOP	BOT	TOP
		ft	in	in	in					
A	18	10.00	18.86	16.25	0.625	1	0	0	0	0
B	18	50.00	30.68	17.63	0.625	2	0	0	0	0
C	18	53.50	42.77	28.81	0.625	3	0	0	0	0
D	18	53.25	54.28	40.38	0.625	4	0	0	0	0

* - Diameter of circumscribed circle

MATERIAL TYPES

=====

TYPE OF SHAPE	TYPE NO	NO OF ELEM.	ORIENT & deg	HEIGHT in	WIDTH in	.THICKNESS.		IRREGULARITY .PROJECTION. % OF ORIENT AREA
						WEB	FLANGE	
						in	in	deg
PL	1	1	0.0	18.86	0.25	0.250	0.250	0.00
PL	2	1	0.0	30.68	0.38	0.375	0.375	0.00
PL	3	1	0.0	42.77	0.44	0.438	0.438	0.00
PL	4	1	0.0	54.28	0.50	0.500	0.500	0.00

& - With respect to vertical

MATERIAL PROPERTIES

=====

MATERIAL TYPE NO.	ELASTIC MODULUS ksi	UNIT WEIGHT pcf	.. STRENGTH ..		THERMAL COEFFICIENT /deg
			Fu ksi	Fy ksi	
1	29000.0	490.0	80.0	65.0	0.00001170
2	29000.0	490.0	80.0	65.0	0.00001170
3	29000.0	490.0	80.0	65.0	0.00001170
4	29000.0	490.0	80.0	65.0	0.00001170

* Only 5 condition(s) shown in full

LOADING CONDITION A =====
 106 mph wind with no ice. Wind Azimuth: 0° (1.2 D + 1.0 Wo)

LOADS ON POLE

=====

LOAD TYPE	ELEV ft	APPLY..RADIUS ft	LOAD..AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0119	0.0067	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0000	0.6408	0.0000	0.0000
C	149.000	0.00	0.0	0.0	4.5465	4.1591	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0294	0.0168	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0000	2.0517	0.0000	0.0000
C	137.000	0.00	0.0	0.0	7.2937	9.6000	0.0000	0.0000

C	135.000	0.00	0.0	0.0	0.0289	0.0168	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0000	1.9020	0.0000	0.0000
C	127.000	0.00	0.0	0.0	7.1791	9.6000	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0284	0.0168	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0000	1.7522	0.0000	0.0000
C	117.000	0.00	0.0	0.0	4.2778	4.8000	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0280	0.0168	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0000	1.6024	0.0000	0.0000
C	107.000	0.00	0.0	0.0	4.1988	4.8000	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0274	0.0168	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0269	0.0168	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0262	0.0168	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0255	0.0168	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0248	0.0168	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0239	0.0168	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0229	0.0168	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0218	0.0168	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0203	0.0168	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0182	0.0168	0.0000	0.0000
D	154.000	0.00	180.0	0.0	0.0356	0.0524	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0371	0.0549	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0389	0.1193	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0389	0.1193	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0404	0.0902	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0570	0.1356	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0588	0.3039	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0588	0.3039	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0597	0.1695	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0707	0.2232	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0713	0.4915	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0713	0.4915	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0718	0.2693	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0679	0.3183	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0681	0.3280	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0701	0.3378	0.0000	0.0000

=====
LOADING CONDITION M

106 mph wind with no ice. Wind Azimuth: 0° (0.9 D + 1.0 Wo)

LOADS ON POLE

=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0119	0.0050	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0000	0.4806	0.0000	0.0000
C	149.000	0.00	0.0	0.0	4.5465	3.1193	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0294	0.0126	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0000	1.5388	0.0000	0.0000
C	137.000	0.00	0.0	0.0	7.2937	7.2000	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0289	0.0126	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0000	1.4265	0.0000	0.0000
C	127.000	0.00	0.0	0.0	7.1791	7.2000	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0284	0.0126	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0000	1.3141	0.0000	0.0000
C	117.000	0.00	0.0	0.0	4.2778	3.6000	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0280	0.0126	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0000	1.2018	0.0000	0.0000
C	107.000	0.00	0.0	0.0	4.1988	3.6000	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0274	0.0126	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0269	0.0126	0.0000	0.0000

C	85.000	0.00	0.0	0.0	0.0262	0.0126	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0255	0.0126	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0248	0.0126	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0239	0.0126	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0229	0.0126	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0218	0.0126	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0203	0.0126	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0182	0.0126	0.0000	0.0000
D	154.000	0.00	180.0	0.0	0.0356	0.0393	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0371	0.0412	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0389	0.0895	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0389	0.0895	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0404	0.0677	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0570	0.1017	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0588	0.2279	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0588	0.2279	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0597	0.1271	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0707	0.1674	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0713	0.3686	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0713	0.3686	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0718	0.2020	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0679	0.2387	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0681	0.2460	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0701	0.2534	0.0000	0.0000

=====
LOADING CONDITION Y =====

30 mph wind with 1.5 ice. Wind Azimuth: 0° (1.2 D + 1.0 Di + 1.0 Wi)

LOADS ON POLE
=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AZI	AT AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0075	0.0187	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0000	0.6408	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.5696	8.0446	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0185	0.0288	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0000	2.0517	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.9887	23.4458	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0181	0.0288	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0000	1.9020	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.9702	23.3420	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0177	0.0288	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0000	1.7522	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.5762	11.6153	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0173	0.0288	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0000	1.6024	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.5635	11.5553	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0168	0.0288	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0163	0.0288	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0158	0.0288	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0152	0.0288	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0146	0.0288	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0139	0.0288	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0131	0.0288	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0121	0.0288	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0110	0.0288	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0094	0.0288	0.0000	0.0000
D	154.000	0.00	180.0	0.0	0.0060	0.0917	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0062	0.0959	0.0000	0.0000

D	147.786	0.00	180.0	0.0	0.0065	0.1621	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0065	0.1621	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0066	0.1345	0.0000	0.0000
D	137.857	0.00	180.0	0.0	0.0066	0.1345	0.0000	0.0000
D	137.857	0.00	180.0	0.0	0.0070	0.1452	0.0000	0.0000
D	131.714	0.00	180.0	0.0	0.0070	0.1452	0.0000	0.0000
D	131.714	0.00	180.0	0.0	0.0074	0.1559	0.0000	0.0000
D	125.571	0.00	180.0	0.0	0.0074	0.1559	0.0000	0.0000
D	125.571	0.00	180.0	0.0	0.0078	0.1666	0.0000	0.0000
D	119.429	0.00	180.0	0.0	0.0078	0.1666	0.0000	0.0000
D	119.429	0.00	180.0	0.0	0.0082	0.1772	0.0000	0.0000
D	113.286	0.00	180.0	0.0	0.0082	0.1772	0.0000	0.0000
D	113.286	0.00	180.0	0.0	0.0085	0.1877	0.0000	0.0000
D	107.143	0.00	180.0	0.0	0.0085	0.1877	0.0000	0.0000
D	107.143	0.00	180.0	0.0	0.0089	0.1982	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0089	0.1982	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0091	0.3690	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0091	0.3690	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0093	0.2357	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0107	0.3049	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0107	0.5750	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0107	0.5750	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0108	0.3537	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0100	0.4073	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0100	0.4146	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0103	0.4190	0.0000	0.0000

LOADING CONDITION AK

Seismic - Azimuth: 0° (1.2 D + 1.0 Ev + 1.0 Eh)

LOADS ON POLE

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AZI ft	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0003	0.0069	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0268	0.5710	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.2024	4.3123	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0312	0.6644	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0008	0.0174	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0844	2.1274	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.3950	9.9536	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0007	0.0174	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0672	1.9721	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.3394	9.9536	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0006	0.0174	0.0000	0.0000
C	121.750	0.00	0.0	0.0	0.1843	5.8819	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0526	1.8167	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.1440	4.9768	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0005	0.0174	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0402	1.6615	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.1205	4.9768	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0004	0.0174	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0003	0.0174	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0003	0.0174	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0002	0.0174	0.0000	0.0000
C	74.250	0.00	0.0	0.0	0.1273	10.9218	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0002	0.0174	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0001	0.0174	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0001	0.0174	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0000	0.0174	0.0000	0.0000
C	26.620	0.00	0.0	0.0	0.0247	16.4564	0.0000	0.0000

C	25.000	0.00	0.0	0.0	0.0000	0.0174	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0000	0.0174	0.0000	0.0000
D	154.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000
D	0.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000

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LOADING CONDITION AL =====

Seismic - Azimuth: 0° (0.9 D - 1.0 Ev + 1.0 Eh)

LOADS ON POLE
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LOAD TYPE	ELEV ft	APPLY.. RADIUS ft	LOAD.. AZI	AT AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0003	0.0048	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0268	0.3927	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.2024	2.9661	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0312	0.4570	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0008	0.0120	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0844	1.4632	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.3950	6.8464	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0007	0.0120	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0672	1.3564	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.3394	6.8464	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0006	0.0120	0.0000	0.0000
C	121.750	0.00	0.0	0.0	0.1843	4.0457	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0526	1.2497	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.1440	3.4232	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0005	0.0120	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0402	1.1429	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.1205	3.4232	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0004	0.0120	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0003	0.0120	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0003	0.0120	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0002	0.0120	0.0000	0.0000
C	74.250	0.00	0.0	0.0	0.1273	7.5124	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0002	0.0120	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0001	0.0120	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0001	0.0120	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0000	0.0120	0.0000	0.0000
C	26.620	0.00	0.0	0.0	0.0247	11.3192	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0000	0.0120	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0000	0.0120	0.0000	0.0000
D	154.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000
D	0.000	0.00	180.0	180.0	0.0000	0.0000	0.0000	0.0000

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155' Monopole / Durant, OK

MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

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MAST ELEV ft	DEFLECTIONS (ft)			ROTATIONS (deg)		
	HORIZONTAL ALONG	ACROSS	DOWN	TILT ALONG	ACROSS	TWIST
154.0	11.87B	-0.07T	1.28B	8.24B	-0.05T	0.01L
150.9	11.43B	-0.07T	1.21B	8.24B	-0.05T	0.01L
147.8	10.99B	-0.06T	1.15B	8.24B	-0.05T	0.01L
144.0	10.46B	-0.06T	1.07B	8.21B	-0.05T	0.01L
137.9	9.60B	0.05F	0.95B	8.13B	-0.05T	0.01L
131.7	8.75B	0.05F	0.83B	7.98B	-0.05T	0.01L
125.6	7.93B	0.04F	0.72B	7.76B	-0.05T	0.01L
119.4	7.12B	0.04F	0.61B	7.46B	-0.04K	0.01L
113.3	6.35B	0.04F	0.51B	7.10B	-0.04K	0.00L
107.1	5.63B	0.03F	0.42B	6.68B	-0.04T	0.00L
101.0	4.94B	0.03F	0.35B	6.22B	-0.03T	0.00L
96.7	4.50B	0.03F	0.30B	5.94B	0.03F	0.00L
90.5	3.88B	0.02F	0.24B	5.48B	0.03F	0.00L
84.3	3.32B	0.02F	0.19B	5.01B	0.03F	0.00L
78.1	2.81B	0.02F	0.14B	4.54B	0.03F	0.00L
71.9	2.34B	0.01F	0.11B	4.09B	0.02F	0.00L
65.7	1.92B	0.01F	0.08B	3.64B	0.02F	0.00L
59.5	1.55B	0.01F	0.06B	3.21B	0.02F	0.00L
53.2	1.23B	0.01F	0.04B	2.79B	0.02F	0.00L
47.5	0.97B	0.01F	0.03B	2.46B	0.01F	0.00H
41.6	0.73B	0.00F	0.02B	2.11B	0.01F	0.00H
35.6	0.53B	0.00F	0.01B	1.77B	0.01F	0.00H
29.7	0.36B	0.00F	0.01B	1.45B	0.01F	0.00H
23.7	0.23B	0.00F	0.00B	1.13B	0.01F	0.00H
17.8	0.13B	0.00F	0.00B	0.83B	0.00F	0.00H
11.9	0.06B	0.00F	0.00B	0.55B	0.00F	0.00H
5.9	0.01B	0.00F	0.00Z	0.27B	0.00F	0.00H
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

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MAST ELEV ft	TOTAL AXIAL kip	SHEAR.w.r.t.WIND.DIR ALONG kip	WIND.DIR ACROSS kip	MOMENT.w.r.t.WIND.DIR ALONG ft-kip	WIND.DIR ACROSS ft-kip	TORSION ft-kip
154.0	-0.02 U	0.09 U	-0.02 E	0.13 U	-0.03 C	0.00 E
	0.31 AI	0.21 U	-0.02 E	-0.40 U	0.03 E	0.00 E
150.9	0.31 AJ	0.30 B	-0.09 H	-0.37 T	0.11 I	-0.02 L
	9.29 AJ	4.96 B	-0.09 H	-7.57 B	0.23 H	-0.03 H
147.8	9.29 AC	4.98 B	-0.15 T	-7.38 B	0.25 H	-0.03 H
	9.93 AC	5.15 B	-0.15 T	-29.05 B	0.72 T	0.09 B
144.0	9.93 AJ	5.08 R	0.16 F	-29.06 B	0.77 T	0.10 B
	10.76 AJ	5.33 R	0.16 F	-64.89 A	1.45 T	-0.19 H
137.9	10.76 AJ	5.35 R	0.11 L	-64.97 A	1.45 T	-0.19 H
	37.18 AJ	12.94 R	0.11 L	-149.45 A	2.03 T	-0.29 H
131.7	37.18 AI	12.93 R	0.14 L	-149.43 A	2.03 T	-0.29 H
	63.38 AI	20.39 R	0.14 L	-255.73 A	2.73 T	-0.40 H
125.6	63.38 AI	20.36 R	0.14 L	-255.74 A	2.77 T	-0.40 H
	64.43 AI	20.69 R	0.14 L	-404.21 A	3.37 T	0.50 L
119.4	64.43 AD	20.68 R	0.14 L	-404.16 A	3.36 T	0.50 L
	78.92 AD	25.30 R	0.14 L	-572.93 B	4.29 K	0.65 L
113.3	78.92 AI	25.32 B	-0.18 K	-572.93 A	4.26 K	0.65 L
	80.07 AI	25.64 B	-0.18 K	-755.56 B	5.52 K	0.77 L
107.1	80.07 AI	25.65 P	-0.12 K	-755.43 B	5.46 K	0.77 L
	94.47 AI	30.22 P	-0.12 K	-968.35 B	6.41 K	0.89 L
101.0	94.47 AJ	30.30 P	-0.12 K	-968.28 B	6.31 K	0.89 L
	96.04 AJ	30.55 P	-0.12 K	-1116.71 B	6.93 K	0.95 L
96.7	96.04 AJ	30.49 P	0.22 F	-1116.74 B	6.98 K	0.96 L
	97.57 AJ	30.90 P	0.22 F	-1334.75 B	7.63 K	1.06 L
90.5	97.57 AD	30.88 H	0.26 F	-1334.62 B	7.62 K	1.05 L
	99.15 AD	31.29 H	0.26 F	-1553.68 B	8.61 T	1.15 L
84.3	99.15 AJ	31.30 U	0.17 I	-1553.56 B	8.63 T	1.14 L
	100.77 AJ	31.69 U	0.17 I	-1773.92 B	9.43 T	1.21 L
78.1	100.77 AJ	31.69 P	0.24 F	-1773.86 B	9.43 T	1.21 L
	102.48 AJ	32.12 P	0.24 F	-1994.78 B	-10.54 F	1.25 L
71.9	102.48 AJ	32.13 O	0.22 F	-1994.85 B	-10.53 F	1.26 L

65.7	104.22	AJ	32.55	O	0.22	F	-2216.14	B	-11.93	F	1.30	L
	104.22	AJ	32.57	P	-0.25	T	-2216.25	B	-11.89	F	1.30	L
59.5	106.05	AJ	33.02	P	-0.25	T	-2438.63	B	-13.36	F	1.33	L
	106.05	AJ	33.03	P	-0.25	T	-2438.68	B	-13.32	F	1.33	L
53.2	107.94	AJ	33.49	P	-0.25	T	-2662.14	B	-14.85	F	1.36	L
	107.94	AJ	33.46	P	0.25	F	-2662.13	B	-14.84	F	1.36	L
47.5	111.25	AJ	33.87	P	0.25	F	-2870.09	B	-16.29	F	1.37	L
	111.25	AJ	33.87	B	0.24	F	-2869.96	B	-16.28	F	1.37	L
41.6	113.40	AJ	34.32	B	0.24	F	-3086.23	B	-17.73	F	1.39	L
	113.40	AJ	34.32	A	0.26	F	-3086.27	B	-17.71	F	1.39	L
35.6	115.58	AJ	34.74	A	0.26	F	-3302.94	B	-19.25	F	-1.41	H
	115.58	AJ	34.73	P	0.23	F	-3302.98	B	-19.25	F	-1.41	H
29.7	117.84	AJ	35.17	P	0.23	F	-3520.76	B	-20.67	F	-1.44	H
	117.84	AJ	35.20	P	0.21	F	-3520.77	B	-20.66	F	-1.44	H
23.7	120.16	AJ	35.64	P	0.21	F	-3739.26	B	-21.96	F	-1.46	H
	120.16	AJ	35.66	P	0.24	F	-3739.26	B	-21.94	F	-1.46	H
17.8	122.50	AJ	36.06	P	0.24	F	-3958.44	B	-23.37	F	-1.48	H
	122.50	AJ	36.04	W	0.24	F	-3958.43	B	-23.37	F	-1.48	H
11.9	124.92	AJ	36.46	W	0.24	F	-4178.29	B	-24.79	F	-1.49	H
	124.92	AJ	36.46	P	0.23	F	-4178.28	B	-24.79	F	-1.49	H
5.9	127.39	AJ	36.87	P	0.23	F	-4398.67	B	-26.16	F	-1.50	H
	127.39	AJ	36.88	P	0.23	F	-4398.67	B	-26.16	F	-1.50	H
	129.87	AJ	37.29	P	0.23	F	-4619.57	B	-27.55	F	-1.50	H

base												
reaction	129.87	AJ	-37.29	P	-0.23	F	4619.57	B	27.55	F	1.50	H

COMPLIANCE WITH 4.8.2 & 4.5.4

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ELEV	AXIAL	BENDING	SHEAR +	TOTAL	SATISFIED	D/t(w/t)	MAX
ft			TORSIONAL				ALLOWED
154.00	0.00U	0.00U	0.00U	0.00U	YES	10.05A	45.2
150.89	0.00AI	0.00U	0.00U	0.00U	YES	10.61A	45.2
	0.00AJ	0.00T	0.00B	0.00T	YES	10.61A	45.2
147.79	0.01AJ	0.02B	0.01B	0.03B	YES	11.18A	45.2
	0.01AC	0.01B	0.01B	0.02B	YES	7.33A	45.2

144.00	0.01AC	0.05B	0.01B	0.05B	YES	7.79A	45.2
	0.01AJ	0.05B	0.01R	0.06B	YES	7.56A	45.2
137.86	0.01AJ	0.10A	0.01R	0.10A	YES	8.30A	45.2
	0.01AJ	0.10A	0.01R	0.10A	YES	8.30A	45.2
131.71	0.02AJ	0.19A	0.01R	0.20A	YES	9.04A	45.2
	0.02AI	0.19A	0.01R	0.20A	YES	9.04A	45.2
125.57	0.03AI	0.28A	0.02R	0.30A	YES	9.78A	45.2
	0.03AI	0.28A	0.02R	0.30A	YES	9.78A	45.2
119.43	0.03AI	0.39A	0.02R	0.40A	YES	10.53A	45.2
	0.03AD	0.39A	0.02R	0.40A	YES	10.53A	45.2
113.29	0.03AD	0.48B	0.02R	0.50B	YES	11.27A	45.2
	0.03AI	0.48A	0.02B	0.50A	YES	11.27A	45.2
107.14	0.03AI	0.57B	0.02B	0.58B	YES	12.01A	45.2
	0.03AI	0.57B	0.02P	0.58B	YES	12.01A	45.2
101.00	0.04AI	0.65B	0.02P	0.67B	YES	12.75A	45.2
	0.03AJ	0.56B	0.02P	0.57B	YES	10.88A	45.2
96.75	0.03AJ	0.60B	0.02P	0.61B	YES	11.32A	45.2
	0.03AJ	0.63B	0.02P	0.65B	YES	11.02A	45.2
90.54	0.03AJ	0.67B	0.02P	0.69B	YES	11.66A	45.2
	0.03AD	0.67B	0.02H	0.69B	YES	11.66A	45.2
84.32	0.03AD	0.71B	0.02H	0.72B	YES	12.31A	45.2
	0.03AJ	0.71B	0.02U	0.72B	YES	12.31A	45.2
78.11	0.03AJ	0.73B	0.02U	0.75B	YES	12.95A	45.2
	0.03AJ	0.73B	0.02U	0.75B	YES	12.95A	45.2
71.89	0.03AJ	0.75B	0.02U	0.77B	YES	13.59A	45.2
	0.03AJ	0.75B	0.020	0.77B	YES	13.59A	45.2
65.68	0.03AJ	0.77B	0.020	0.78B	YES	14.24A	45.2
	0.03AJ	0.77B	0.02P	0.78B	YES	14.24A	45.2
59.46	0.03AJ	0.77B	0.02U	0.79B	YES	14.88A	45.2
	0.03AJ	0.77B	0.02P	0.79B	YES	14.88A	45.2
53.25	0.03AJ	0.78B	0.02P	0.79B	YES	15.52A	45.2
	0.02AJ	0.68B	0.01P	0.70B	YES	13.54A	45.2
47.50	0.02AJ	0.69B	0.01U	0.70B	YES	14.06A	45.2
	0.02AJ	0.72B	0.01U	0.73B	YES	13.75A	45.2
	0.02AJ	0.71B	0.01U	0.73B	YES	14.29A	45.2

41.56	0.02AJ	0.71B	0.01U	0.73B	YES	14.29A	45.2
	0.02AJ	0.71B	0.01U	0.72B	YES	14.83A	45.2
35.62	0.02AJ	0.71B	0.01U	0.72B	YES	14.83A	45.2
	0.02AJ	0.71B	0.01U	0.72B	YES	15.37A	45.2
29.69	0.02AJ	0.71B	0.01U	0.72B	YES	15.37A	45.2
	0.02AJ	0.70B	0.01U	0.72B	YES	15.91A	45.2
23.75	0.02AJ	0.70B	0.01U	0.72B	YES	15.91A	45.2
	0.02AJ	0.70B	0.01U	0.72B	YES	16.44A	45.2
17.81	0.02AJ	0.70B	0.01U	0.72B	YES	16.44A	45.2
	0.02AJ	0.70B	0.01U	0.72B	YES	16.98A	45.2
11.87	0.02AJ	0.70B	0.01U	0.72B	YES	16.98A	45.2
	0.02AJ	0.70B	0.01U	0.71B	YES	17.52A	45.2
5.94	0.02AJ	0.70B	0.01U	0.71B	YES	17.52A	45.2
	0.02AJ	0.70B	0.01U	0.71B	YES	18.06A	45.2
0.00							

MAXIMUM LOADS ONTO FOUNDATION(w.r.t. wind direction)

DOWN kip	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION ft-kip
	ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	
129.87 AJ	37.29 P	0.23 F	-4619.57 B	-27.55 F	-1.50 H

=====
 (USA 222-H) - Monopole Spatial Analysis (c)2017 Guymast Inc.
 Tel:(416)736-7453 Fax:(416)736-4372 Web:www.guymast.com

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Sabre Towers and Poles on: 29 aug 2025 at: 9:42:30

155' Monopole / Durant, OK

 ***** Service Load Condition *****

* Only 1 condition(s) shown in full

LOADING CONDITION A =====

60 mph wind with no ice. Wind Azimuth: 00 (1.0 D + 1.0 Wo)

LOADS ON POLE
=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD AT AZI	LOAD AZI	.....FORCES.....		.....MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	152.000	0.00	0.0	0.0	0.0034	0.0056	0.0000	0.0000
C	149.000	0.00	0.0	0.0	0.0000	0.5340	0.0000	0.0000
C	149.000	0.00	0.0	0.0	1.3034	3.4659	0.0000	0.0000
C	145.000	0.00	0.0	0.0	0.0084	0.0140	0.0000	0.0000
C	137.000	0.00	0.0	0.0	0.0000	1.7098	0.0000	0.0000
C	137.000	0.00	0.0	0.0	2.0909	8.0000	0.0000	0.0000
C	135.000	0.00	0.0	0.0	0.0083	0.0140	0.0000	0.0000
C	127.000	0.00	0.0	0.0	0.0000	1.5850	0.0000	0.0000
C	127.000	0.00	0.0	0.0	2.0580	8.0000	0.0000	0.0000
C	125.000	0.00	0.0	0.0	0.0082	0.0140	0.0000	0.0000
C	117.000	0.00	0.0	0.0	0.0000	1.4602	0.0000	0.0000
C	117.000	0.00	0.0	0.0	1.2263	4.0000	0.0000	0.0000
C	115.000	0.00	0.0	0.0	0.0080	0.0140	0.0000	0.0000
C	107.000	0.00	0.0	0.0	0.0000	1.3354	0.0000	0.0000
C	107.000	0.00	0.0	0.0	1.2037	4.0000	0.0000	0.0000
C	105.000	0.00	0.0	0.0	0.0079	0.0140	0.0000	0.0000
C	95.000	0.00	0.0	0.0	0.0077	0.0140	0.0000	0.0000
C	85.000	0.00	0.0	0.0	0.0075	0.0140	0.0000	0.0000
C	75.000	0.00	0.0	0.0	0.0073	0.0140	0.0000	0.0000
C	65.000	0.00	0.0	0.0	0.0071	0.0140	0.0000	0.0000
C	55.000	0.00	0.0	0.0	0.0069	0.0140	0.0000	0.0000
C	45.000	0.00	0.0	0.0	0.0066	0.0140	0.0000	0.0000
C	35.000	0.00	0.0	0.0	0.0062	0.0140	0.0000	0.0000
C	25.000	0.00	0.0	0.0	0.0058	0.0140	0.0000	0.0000
C	15.000	0.00	0.0	0.0	0.0052	0.0140	0.0000	0.0000
D	154.000	0.00	180.0	0.0	0.0102	0.0436	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0106	0.0458	0.0000	0.0000
D	147.786	0.00	180.0	0.0	0.0111	0.0994	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0111	0.0994	0.0000	0.0000
D	144.000	0.00	180.0	0.0	0.0116	0.0752	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0163	0.1130	0.0000	0.0000
D	101.000	0.00	180.0	0.0	0.0169	0.2533	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0169	0.2533	0.0000	0.0000
D	96.750	0.00	180.0	0.0	0.0171	0.1412	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0203	0.1860	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0204	0.4096	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0204	0.4096	0.0000	0.0000
D	47.500	0.00	180.0	0.0	0.0206	0.2244	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0195	0.2652	0.0000	0.0000
D	11.875	0.00	180.0	0.0	0.0195	0.2734	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0201	0.2815	0.0000	0.0000

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MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

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MAST ELEV ftDEFLECTIONS (ft).....		ROTATIONS (deg).....		
	HORIZONTAL ALONG	ACROSS	DOWN	TILT ALONG	ACROSS	TWIST
154.0	3.41H	-0.01E	0.11H	2.34H	-0.01E	0.00I
150.9	3.28H	-0.01E	0.10H	2.34H	-0.01E	0.00I
147.8	3.16H	-0.01E	0.10H	2.34H	-0.01E	0.00I

144.0	3.00H	-0.01E	0.09H	2.33H	-0.01E	0.00I
137.9	2.75H	-0.01E	0.08H	2.31H	-0.01E	0.00I
131.7	2.51H	-0.01E	0.07H	2.27H	-0.01E	0.00I
125.6	2.27H	-0.01E	0.06H	2.20H	-0.01E	0.00I
119.4	2.04H	-0.01E	0.05H	2.12H	-0.01E	0.00I
113.3	1.82H	-0.01E	0.04H	2.01H	0.00E	0.00I
107.1	1.61H	0.00E	0.04H	1.90H	0.00E	0.00I
101.0	1.41H	0.00E	0.03H	1.77H	0.00E	0.00I
96.7	1.28H	0.00E	0.03H	1.69H	0.00E	0.00I
90.5	1.11H	0.00E	0.02H	1.55H	0.00E	0.00I
84.3	0.95H	0.00E	0.02H	1.42H	0.00E	0.00I
78.1	0.80H	0.00E	0.01H	1.29H	0.00E	0.00I
71.9	0.67H	0.00E	0.01H	1.16H	0.00E	0.00I
65.7	0.55H	0.00E	0.01H	1.03H	0.00E	0.00I
59.5	0.44H	0.00E	0.01H	0.91H	0.00E	0.00I
53.2	0.35H	0.00E	0.00H	0.79H	0.00E	0.00I
47.5	0.27H	0.00E	0.00H	0.70H	0.00E	0.00I
41.6	0.21H	0.00E	0.00H	0.60H	0.00E	0.00I
35.6	0.15H	0.00E	0.00H	0.50H	0.00E	0.00I
29.7	0.10H	0.00E	0.00H	0.41H	0.00E	0.00I
23.7	0.07H	0.00E	0.00H	0.32H	0.00E	0.00I
17.8	0.04H	0.00E	0.00H	0.24H	0.00E	0.00I
11.9	0.02H	0.00E	0.00D	0.15H	0.00E	0.00I
5.9	0.00H	0.00E	0.00D	0.08H	0.00E	0.00I
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

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MAST ELEV ft	TOTAL AXIAL kip	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION ft-kip
		ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	
154.0	0.00 D	0.01 E	0.00 C	0.02 D	-0.01 C	0.00 C
150.9	0.14 D	0.05 E	0.00 C	-0.09 D	0.01 C	0.00 C
147.8	0.14 K	0.06 H	0.01 F	-0.10 A	0.01 C	0.00 C
	4.28 K	1.40 H	0.01 F	-2.11 H	-0.04 F	0.00 B
	4.29 F	1.38 B	-0.02 B	-2.13 H	0.04 B	0.00 F

144.0	4.68 F	1.43 B	-0.02 B	-8.08 L	0.11 B	0.00 B
	4.68 I	1.45 F	-0.02 F	-8.09 L	0.12 B	0.00 B
137.9	5.16 I	1.52 F	-0.02 F	-18.36 F	0.13 B	-0.01 B
	5.16 I	1.52 B	0.02 H	-18.35 F	0.13 B	-0.01 F
131.7	15.39 I	3.69 B	0.02 H	-42.18 F	-0.16 H	0.01 I
	15.40 I	3.69 D	0.02 I	-42.18 F	-0.16 H	0.01 I
125.6	25.52 I	5.83 D	0.02 I	-72.17 F	-0.25 H	0.02 I
	25.52 I	5.82 D	0.01 L	-72.17 F	-0.25 H	0.02 I
119.4	26.12 I	5.92 D	0.01 L	-114.14 H	-0.29 H	0.03 I
	26.12 I	5.92 L	0.01 I	-114.15 H	-0.29 H	0.03 I
113.3	32.20 I	7.24 L	0.01 I	-161.79 D	-0.36 H	0.04 I
	32.20 D	7.24 L	-0.02 E	-161.82 D	-0.36 H	0.04 I
107.1	32.85 D	7.34 L	-0.02 E	-213.30 H	-0.43 H	0.05 I
	32.85 D	7.35 L	0.02 K	-213.29 H	-0.42 H	0.05 I
101.0	38.87 D	8.66 L	0.02 K	-273.43 H	-0.42 H	0.06 I
	38.87 F	8.71 L	-0.03 E	-273.51 H	-0.46 H	0.06 I
96.7	39.95 F	8.78 L	-0.03 E	-315.44 L	0.51 E	0.07 I
	39.95 F	8.75 H	0.03 C	-315.45 L	0.50 E	0.07 I
90.5	40.86 F	8.86 H	0.03 C	-377.14 H	0.64 E	0.08 I
	40.86 D	8.88 H	-0.03 E	-377.16 H	0.63 E	0.08 I
84.3	41.81 D	9.00 H	-0.03 E	-439.34 H	0.85 E	0.09 I
	41.81 D	9.01 H	-0.03 E	-439.34 H	0.84 E	0.09 I
78.1	42.79 D	9.12 H	-0.03 E	-501.83 H	1.05 E	0.10 I
	42.79 D	9.12 H	-0.04 E	-501.83 H	1.05 E	0.10 I
71.9	43.82 D	9.24 H	-0.04 E	-564.61 H	1.31 E	0.11 I
	43.82 D	9.26 H	-0.04 E	-564.61 H	1.31 E	0.11 I
65.7	44.88 D	9.37 H	-0.04 E	-627.75 H	1.56 E	0.11 I
	44.88 D	9.35 H	-0.04 E	-627.74 H	1.55 E	0.11 I
59.5	45.99 D	9.48 H	-0.04 E	-691.02 H	1.80 E	0.12 I
	45.99 D	9.47 H	-0.05 E	-691.03 H	1.80 E	0.12 I
53.2	47.13 D	9.60 H	-0.05 E	-754.55 H	2.08 E	0.12 I
	47.14 D	9.61 H	-0.05 E	-754.57 H	2.08 E	0.12 I
47.5	49.49 D	9.72 H	-0.05 E	-813.73 H	2.36 E	0.13 I
	49.49 D	9.72 H	-0.04 E	-813.75 H	2.37 E	0.13 I

41.6	50.86 D	9.85 H	-0.04 E	-875.21 H	2.62 E	0.13 I
	50.86 D	9.86 H	-0.04 E	-875.21 H	2.62 E	0.13 I
35.6	52.25 D	9.98 H	-0.04 E	-937.05 H	2.88 E	0.14 I
	52.25 D	9.98 H	-0.05 E	-937.05 H	2.88 E	0.14 I
29.7	53.70 D	10.11 H	-0.05 E	-999.18 H	3.18 E	0.14 I
	53.70 D	10.09 H	-0.06 E	-999.19 H	3.17 E	0.14 I
23.7	55.18 D	10.22 H	-0.06 E	-1061.52 H	3.50 E	0.14 I
	55.18 D	10.21 H	-0.05 E	-1061.51 H	3.50 E	0.14 I
17.8	56.70 D	10.33 H	-0.05 E	-1124.12 H	3.82 E	0.14 I
	56.70 D	10.33 H	-0.05 E	-1124.12 H	3.82 E	0.14 I
11.9	58.27 D	10.45 H	-0.05 E	-1186.98 H	4.13 E	0.14 I
	58.27 D	10.45 H	-0.06 E	-1186.98 H	4.14 E	0.14 I
5.9	59.90 D	10.57 H	-0.06 E	-1250.08 H	4.47 E	0.14 I
	59.90 D	10.57 H	-0.05 E	-1250.08 H	4.47 E	0.14 I
	61.56 D	10.69 H	-0.05 E	-1313.43 H	4.78 E	0.14 I

base						
reaction	61.56 D	-10.69 H	0.05 E	1313.43 H	-4.78 E	-0.14 I

COMPLIANCE WITH 4.8.2 & 4.5.4

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ELEV	AXIAL	BENDING	SHEAR + TORSIONAL	TOTAL	SATISFIED	D/t(w/t)	MAX ALLOWED
ft							
154.00	0.00D	0.00D	0.00E	0.00D	YES	10.05A	45.2
	0.00D	0.00D	0.00E	0.00D	YES	10.61A	45.2
150.89	0.00K	0.00A	0.00H	0.00A	YES	10.61A	45.2
	0.00K	0.01H	0.00H	0.01H	YES	11.18A	45.2
147.79	0.00F	0.00H	0.00B	0.01H	YES	7.33A	45.2
	0.00F	0.01L	0.00B	0.02L	YES	7.79A	45.2
144.00	0.00I	0.01L	0.00F	0.02L	YES	7.56A	45.2
	0.00I	0.03F	0.00F	0.03F	YES	8.30A	45.2
137.86	0.00I	0.03F	0.00B	0.03F	YES	8.30A	45.2
	0.01I	0.05F	0.00B	0.06F	YES	9.04A	45.2
131.71	0.01I	0.05F	0.00D	0.06F	YES	9.04A	45.2
	0.01I	0.08F	0.01D	0.09F	YES	9.78A	45.2
125.57	0.01I	0.08F	0.01D	0.09F	YES	9.78A	45.2

119.43	0.01I	0.11H	0.01D	0.12H	YES	10.53A	45.2
	0.01I	0.11H	0.01L	0.12H	YES	10.53A	45.2
113.29	0.01I	0.14D	0.01L	0.15D	YES	11.27A	45.2
	0.01D	0.14D	0.01L	0.15D	YES	11.27A	45.2
107.14	0.01D	0.16H	0.01L	0.17H	YES	12.01A	45.2
	0.01D	0.16H	0.01L	0.17D	YES	12.01A	45.2
101.00	0.02D	0.18H	0.01L	0.20H	YES	12.75A	45.2
	0.01F	0.16H	0.01L	0.17H	YES	10.88A	45.2
96.75	0.01F	0.17L	0.01L	0.18L	YES	11.32A	45.2
	0.01F	0.18L	0.01H	0.19L	YES	11.02A	45.2
90.54	0.01F	0.19H	0.01H	0.20H	YES	11.66A	45.2
	0.01D	0.19H	0.01H	0.20H	YES	11.66A	45.2
84.32	0.01D	0.20H	0.01H	0.21H	YES	12.31A	45.2
	0.01D	0.20H	0.01H	0.21H	YES	12.31A	45.2
78.11	0.01D	0.21H	0.01H	0.22H	YES	12.95A	45.2
	0.01D	0.21H	0.01H	0.22H	YES	12.95A	45.2
71.89	0.01D	0.21H	0.01H	0.23H	YES	13.59A	45.2
	0.01D	0.21H	0.01H	0.23H	YES	13.59A	45.2
65.68	0.01D	0.22H	0.00H	0.23H	YES	14.24A	45.2
	0.01D	0.22H	0.00H	0.23H	YES	14.24A	45.2
59.46	0.01D	0.22H	0.00H	0.23H	YES	14.88A	45.2
	0.01D	0.22H	0.00H	0.23H	YES	14.88A	45.2
53.25	0.01D	0.22H	0.00H	0.23H	YES	15.52A	45.2
	0.01D	0.19H	0.00H	0.20H	YES	13.54A	45.2
47.50	0.01D	0.19H	0.00H	0.20H	YES	14.06A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	13.75A	45.2
41.56	0.01D	0.20H	0.00H	0.21H	YES	14.29A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	14.29A	45.2
35.62	0.01D	0.20H	0.00H	0.21H	YES	14.83A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	14.83A	45.2
29.69	0.01D	0.20H	0.00H	0.21H	YES	15.37A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	15.37A	45.2
23.75	0.01D	0.20H	0.00H	0.21H	YES	15.91A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	15.91A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	16.44A	45.2

17.81	0.01D	0.20H	0.00H	0.21H	YES	16.44A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	16.98A	45.2
11.87	0.01D	0.20H	0.00H	0.21H	YES	16.98A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	17.52A	45.2
5.94	0.01D	0.20H	0.00H	0.21H	YES	17.52A	45.2
	0.01D	0.20H	0.00H	0.21H	YES	18.06A	45.2
0.00							

MAXIMUM LOADS ONTO FOUNDATION(w.r.t. wind direction)

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DOWN	SHEAR.w.r.t.WIND.DIR		MOMENT.w.r.t.WIND.DIR		TORSION
	ALONG	ACROSS	ALONG	ACROSS	
kip	kip	kip	ft-kip	ft-kip	ft-kip
61.56	10.69	-0.05	-1313.43	4.78	0.14
D	H	E	H	E	I

=====

Seismic Load Effects
Equivalent Lateral Force Procedure
ANSI/TIA-222-H

Parameters	Risk Category	Description	h _i (ft.)	w _i (kips)	W _r (kips)	w _i /h _i ^{ke}	Vertical Distribution of Seismic Forces			
							F _s or E _h (kips)	E _v (kips)	1.2D + 1.0E _v (kips)	0.9D - 1.0E _v (kips)
	II	Step Bolts/Safety Climb Load	152.00	0.0056	0.0000	129.3824	0.0003	0.0002	0.0069	0.0048
	1.500	Line Deadload	149.00	0.5340	0.0000	11,855.3340	0.0312	0.0236	0.6644	0.4570
	0.207	Mount/Antenna Load	149.00	3.4659	3.4659	76,946.4459	0.2024	0.1532	4.3123	2.9661
	0.073	Structure - Section 1	149.00	0.4589	0.0000	10,188.0389	0.0268	0.0203	0.5710	0.3927
	D (default)	Step Bolts/Safety Climb Load	145.00	0.0140	0.0000	294.3500	0.0008	0.0006	0.0174	0.0120
	12.000	Antenna Load	137.00	8.0000	8.0000	150,152.0000	0.3950	0.3536	9.9536	6.8464
	1.600	Line Deadload	137.00	1.7098	0.0000	32,091.2362	0.0844	0.0756	2.1274	1.4632
	2.400	Step Bolts/Safety Climb Load	135.00	0.0140	0.0000	255.1500	0.0007	0.0006	0.0174	0.0120
	0.331	Antenna Load	127.00	8.0000	8.0000	129,032.0000	0.3394	0.3536	9.9536	6.8464
	0.175	Line Deadload	127.00	1.5850	0.0000	25,564.4650	0.0672	0.0701	1.9721	1.3564
	0.221	Structure - Section 2	125.00	0.0140	0.0000	218.7500	0.0006	0.0006	0.0174	0.0120
	0.529	Antenna Load	121.75	4.7274	0.0000	70,074.5457	0.1843	0.2090	5.8819	4.0457
	1.000	Line Deadload	117.00	4.0000	4.0000	54,756.0000	0.1440	0.1768	4.9768	3.4232
	1.500	Step Bolts/Safety Climb Load	117.00	1.4602	0.0000	19,988.6778	0.0526	0.0645	1.8167	1.2497
	0.030	Antenna Load	107.00	4.0000	4.0000	45,796.0000	0.1205	0.1768	4.9768	3.4232
	29,000	Line Deadload	107.00	1.3354	0.0000	15,288.9946	0.0402	0.0590	1.6615	1.1429
	393	Step Bolts/Safety Climb Load	105.00	0.0140	0.0000	154.3500	0.0004	0.0006	0.0174	0.0120
	29,838	Step Bolts/Safety Climb Load	95.00	0.0140	0.0000	126.3500	0.0003	0.0006	0.0174	0.0120
	15,115	Step Bolts/Safety Climb Load	85.00	0.0140	0.0000	101.1500	0.0003	0.0006	0.0174	0.0120
	386.4	Structure - Section 3	75.00	0.0140	0.0000	78.7500	0.0002	0.0006	0.0174	0.0120
	61,483	Step Bolts/Safety Climb Load	74.25	8.7782	0.0000	48,394.7652	0.1273	0.3880	10.9218	7.5124
	27,466	Step Bolts/Safety Climb Load	65.00	0.0140	0.0000	59.1500	0.0002	0.0006	0.0174	0.0120
	34,017	Step Bolts/Safety Climb Load	55.00	0.0140	0.0000	42.3500	0.0001	0.0006	0.0174	0.0120
	1848	Step Bolts/Safety Climb Load	45.00	0.0140	0.0000	28.3500	0.0001	0.0006	0.0174	0.0120
	0.240	Structure - Section 4	35.00	0.0140	0.0000	17.1500	0.0000	0.0006	0.0174	0.0120
	4.172	Step Bolts/Safety Climb Load	26.62	13.2265	0.0000	9,372.6206	0.0247	0.5846	16.4564	11.3192
	2.0000	Step Bolts/Safety Climb Load	25.00	0.0140	0.0000	8.7500	0.0000	0.0006	0.0174	0.0120
	1.844	Step Bolts/Safety Climb Load	15.00	0.0140	0.0000	3.1500	0.0000	0.0006	0.0174	0.0120
	B	Σ		61.48	27.4659	701,203.41	1.84	2.72	76.50	52.62

Seismic Design Category

Round Base Plate and Anchor Rods, per ANSI/TIA 222-H

Pole Data

Diameter:	53.450	in (flat to flat)
Thickness:	0.5	in
Yield (Fy):	65	ksi
# of Sides:	18	"0" IF Round
Strength (Fu):	80	ksi

Reactions

Moment, Mu:	4619.57	ft-kips
Axial, Pu:	73.83	kips
Shear, Vu:	37.26	kips

Anchor Rod Data

Quantity:	20	
Diameter:	2.25	in
Rod Material:	A615	
Strength (Fu):	100	ksi
Yield (Fy):	75	ksi
BC Diam. (in):	60.5	BC Override: 60.5

Plate Data

Diameter (in):	66.25	Dia. Override: 66.25
Thickness:	2.5	in
Yield (Fy):	50	ksi
Eff Width/Rod:	8.48	in
Drain Hole:	2.625	in. diameter
Drain Location:	24.5	in. center of pole to center of drain hole
Center Hole:	41	in. diameter

Anchor Rod Results

(per 4.9.9)

Maximum Put:	180.49 Kips
$\Phi_t^*R_{nt}$:	243.75 Kips
Vu:	1.86 Kips
$\Phi_v^*R_{nv}$:	149.10 Kips
Tension Interaction Ratio:	0.55
Maximum Puc:	186.95 Kips
$\Phi_c^*R_{nc}$:	268.39 Kips
Vu:	1.86 Kips
$\Phi_c^*R_{nc}$:	120.77 Kips
Compression Interaction Ratio:	0.70
Maximum Interaction Ratio:	69.7% Pass

Base Plate Results

Base Plate (Mu/Z):	31.3 ksi
Allowable Φ^*F_y :	45.0 ksi (per AISC)
Base Plate Interaction Ratio:	69.6% Pass

MAT FOUNDATION DESIGN BY SABRE INDUSTRIES

155' Monopole CITYSWITCH LLC Durant, OK (26-1772-JDS) 08/29/25 KJT

Overall Loads:

Factored Moment (ft-kips)	5517.09
Factored Axial (kips)	83.30
Factored Shear (kips)	41.94
Bearing Design Strength (ksf)	3.75
Water Table Below Grade (ft)	999
Width of Mat (ft)	27
Thickness of Mat (ft)	1.75
Depth to Bottom of Slab (ft)	6
Quantity of Bolts in Bolt Circle	20
Bolt Circle Diameter (in)	60.5
Effective Anchor	
Bolt Embedment (in)	66.5
Diameter of Pier (ft)	7
Ht. of Pier Above Ground (ft)	0.5
Ht. of Pier Below Ground (ft)	4.25
Quantity of Bars in Mat	44
Bar Diameter in Mat (in)	1.27
Area of Bars in Mat (in ²)	55.74
Spacing of Bars in Mat (in)	7.37
Quantity of Bars Pier	44
Bar Diameter in Pier (in)	1
Tie Bar Diameter in Pier (in)	0.625
Spacing of Ties (in)	4
Area of Bars in Pier (in ²)	34.56
Spacing of Bars in Pier (in)	5.41
f'c (ksi)	4.5
fy (ksi)	60
Unit Wt. of Soil (kcf)	0.11
Unit Wt. of Concrete (kcf)	0.15

Max. Net Bearing Press. (ksf)	3.48
Allowable Bearing Pressure (ksf)	2.50
Safety Factor	2.00
Ultimate Bearing Pressure (ksf)	5.00
Bearing Φs	0.75

Minimum Pier Diameter (ft)	7.00
Equivalent Square b (ft)	6.20
Square Pier? (Y/N)	N

Recommended Spacing (in)	5 to 12
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Minimum Pier A _s (in ²)	27.71
Recommended Spacing (in)	5 to 12

Volume of Concrete (yd ³)	54.02
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Two-Way Shear Action:

Average d (in)	16.73
φv _c (ksi)	0.193
φv _c = φ(2 + 4/β _c)f' _c ^{1/2}	0.302
φv _c = φ(α _s d/b _o +2)f' _c ^{1/2}	0.193
φv _c = φ4f' _c ^{1/2}	0.201
Shear perimeter, b _o (in)	364.69
β _c	1

v _u (ksi)	0.160
----------------------	-------

J (in ³)	8.524E+06
c + d (in)	91.17
0.40M _{sc} (ft-kips)	2286.5

One-Way Shear:

φV _c (kips)	545.4
------------------------	-------

V _u (kips)	384.1
-----------------------	-------

Stability:

Overturning Design Strength (ft-k)	7423.8
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Total Applied M (ft-k)	5789.7
------------------------	--------

Pier-Slab Transfer by Flexure:

b_{slab} (ft)	12.25		
ϕM_n (ft-kips)	3500.6	$0.60M_{sc}$ (ft-kips)	3429.8

Pier Design:

ϕV_n (kips)	1036.1	V_u (kips)	41.9
$\phi V_c = \phi 2(1 + N_u / (2000A_g)) f'_c{}^{1/2} b_w d$	572.3		
V_s (kips)	618.5	*** $V_s \text{ max} = 4 f'_c{}^{1/2} b_w d$ (kips)	1514.7
Maximum Spacing (in)	8.71	(Only if Shear Ties are Required)	
Actual Hook Development (in)	15.46	Req'd Hook Development l_{dh} (in) - Tension	12.52
		Req'd Hook Development l_{dc} (in) - Compression	13.50

Flexure in Slab:

ϕM_n (ft-kips)	3857.8	M_u (ft-kips)	2766.0
a (in)	2.70		
Steel Ratio	0.01028		
β_1	0.825		
Maximum Steel Ratio (ρ_t)	0.0197		
Minimum Steel Ratio	0.0018		
Rebar Development in Pad (in)	117.00	Required Development in Pad (in)	34.08

Condition	1 is OK, 0 Fails
Maximum Soil Bearing Pressure	1
Pier Area of Steel	1
Pier Shear	1
Interaction Diagram	1
Two-Way Shear Action	1
One-Way Shear Action	1
Overturning	1
Flexure	1
Steel Ratio	1
Length of Development in Pad	1
Hook Development	1
Anchor Bolt Pullout	1
Anchor Bolt Punching Shear	1

=====
LPile for Windows, Version 2019-11.009

Analysis of Individual Piles and Drilled Shafts
Subjected to Lateral Loading Using the p-y Method
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Files Used for Analysis

Path to file locations:

\Program Files (x86)\Ensoft\LPile2019\files\

Name of input data file:

26-1772-JDS.lp11d

Name of output report file:

26-1772-JDS.lp11o

Name of plot output file:

26-1772-JDS.lp11p

Name of runtime message file:

26-1772-JDS.lp11r

Date and Time of Analysis

Date: August 29, 2025

Time: 9:09:14

Problem Title

Site : Durant, OK

Tower : 155' Monopole

Prepared for : CITYSWITCH LLC

Job Number : 26-1772-JDS

Engineer : KJT

Program Options and Settings

Computational Options:

- Conventional Analysis

Engineering Units Used for Data Input and Computations:

- US Customary System Units (pounds, feet, inches)

Analysis Control Options:

- Maximum number of iterations allowed = 999
- Deflection tolerance for convergence = 1.0000E-05 in
- Maximum allowable deflection = 100.0000 in
- Number of pile increments = 100

Loading Type and Number of Cycles of Loading:

- Static loading specified

- Use of p-y modification factors for p-y curves not selected
- Analysis uses layering correction (Method of Georgiadis)
- No distributed lateral loads are entered
- Loading by lateral soil movements acting on pile not selected
- Input of shear resistance at the pile tip not selected
- Input of moment resistance at the pile tip not selected
- Input of side resistance moment along pile not selected
- Computation of pile-head foundation stiffness matrix not selected
- Push-over analysis of pile not selected
- Buckling analysis of pile not selected

Output Options:

- Output files use decimal points to denote decimal symbols.
- Report only summary tables of pile-head deflection, maximum bending moment, and maximum shear force in output report file.
- No p-y curves to be computed and reported for user-specified depths
- Print using wide report formats

Pile Structural Properties and Geometry

Number of pile sections defined = 1
Total length of pile = 35.500 ft
Depth of ground surface below top of pile = 0.5000 ft

Pile diameters used for p-y curve computations are defined using 2 points.

p-y curves are computed using pile diameter values interpolated with depth over the length of the pile. A summary of values of pile diameter vs. depth follows.

Point No.	Depth Below Pile Head feet	Pile Diameter inches
1	0.000	84.0000
2	35.500	84.0000

Input Structural Properties for Pile Sections:

Pile Section No. 1:

Section 1 is a round drilled shaft, bored pile, or CIDH pile
 Length of section = 35.500000 ft
 Shaft Diameter = 84.000000 in
 Shear capacity of section = 0.0000 lbs

 Ground Slope and Pile Batter Angles

Ground Slope Angle = 0.000 degrees
 = 0.000 radians
 Pile Batter Angle = 0.000 degrees
 = 0.000 radians

 Soil and Rock Layering Information

The soil profile is modelled using 1 layers

Layer 1 is stiff clay without free water

Distance from top of pile to top of layer = 0.500000 ft
 Distance from top of pile to bottom of layer = 60.500000 ft
 Effective unit weight at top of layer = 110.000000 pcf
 Effective unit weight at bottom of layer = 110.000000 pcf
 Undrained cohesion at top of layer = 1000.000000 psf
 Undrained cohesion at bottom of layer = 1000.000000 psf
 Epsilon-50 at top of layer = 0.010000
 Epsilon-50 at bottom of layer = 0.010000

(Depth of the lowest soil layer extends 25.000 ft below the pile tip)

 Summary of Input Soil Properties

Layer Num.	Soil Type Name (p-y Curve Type)	Layer Depth ft	Effective Unit Wt. pcf	Cohesion psf	E50 or krm
1	Stiff Clay w/o Free Water	0.5000 60.5000	110.0000 110.0000	1000.0000 1000.0000	0.01000 0.01000

 Static Loading Type

Static loading criteria were used when computing p-y curves for all analyses.

 Pile-head Loading and Pile-head Fixity Conditions

Number of loads specified = 2

Load No.	Load Type	Condition 1	Condition 2	Axial Thrust Force, lbs	Compute Top y vs. Pile Length	Run Analysis
1	1	V = 55920. lbs	M = 88273440. in-lbs	111067.	No	Yes
2	1	V = 11950. lbs	M = 18641640. in-lbs	69420.	No	Yes

V = shear force applied normal to pile axis
M = bending moment applied to pile head
y = lateral deflection normal to pile axis
S = pile slope relative to original pile batter angle
R = rotational stiffness applied to pile head
Values of top y vs. pile lengths can be computed only for load types with specified shear loading (Load Types 1, 2, and 3).
Thrust force is assumed to be acting axially for all pile batter angles.

Computations of Nominal Moment Capacity and Nonlinear Bending Stiffness

Axial thrust force values were determined from pile-head loading conditions

Number of Pile Sections Analyzed = 1

Pile Section No. 1:

Dimensions and Properties of Drilled Shaft (Bored Pile):

Length of Section = 35.500000 ft
Shaft Diameter = 84.000000 in
Concrete Cover Thickness (to edge of long. rebar) = 3.625000 in
Number of Reinforcing Bars = 40 bars
Yield Stress of Reinforcing Bars = 60000. psi
Modulus of Elasticity of Reinforcing Bars = 29000000. psi
Gross Area of Shaft = 5542. sq. in.
Total Area of Reinforcing Steel = 50.670748 sq. in.
Area Ratio of Steel Reinforcement = 0.91 percent
Edge-to-Edge Bar Spacing = 4.652093 in
Maximum Concrete Aggregate Size = 0.750000 in
Ratio of Bar Spacing to Aggregate Size = 6.20
Offset of Center of Rebar Cage from Center of Pile = 0.0000 in

Axial Structural Capacities:

Nom. Axial Structural Capacity = $0.85 F_c A_c + F_y A_s$ = 24043.697 kips
Tensile Load for Cracking of Concrete = -2587.057 kips
Nominal Axial Tensile Capacity = -3040.245 kips

Reinforcing Bar Dimensions and Positions Used in Computations:

Bar Number	Bar Diam. inches	Bar Area sq. in.	X inches	Y inches
1	1.270000	1.266769	37.740000	0.000000
2	1.270000	1.266769	37.275358	5.903837
3	1.270000	1.266769	35.892873	11.662301
4	1.270000	1.266769	33.626586	17.133601
5	1.270000	1.266769	30.532301	22.183015
6	1.270000	1.266769	26.686210	26.686210
7	1.270000	1.266769	22.183015	30.532301
8	1.270000	1.266769	17.133601	33.626586
9	1.270000	1.266769	11.662301	35.892873
10	1.270000	1.266769	5.903837	37.275358

11	1.270000	1.266769	0.00000	37.740000
12	1.270000	1.266769	-5.903837	37.275358
13	1.270000	1.266769	-11.662301	35.892873
14	1.270000	1.266769	-17.133601	33.626586
15	1.270000	1.266769	-22.183015	30.532301
16	1.270000	1.266769	-26.686210	26.686210
17	1.270000	1.266769	-30.532301	22.183015
18	1.270000	1.266769	-33.626586	17.133601
19	1.270000	1.266769	-35.892873	11.662301
20	1.270000	1.266769	-37.275358	5.903837
21	1.270000	1.266769	-37.740000	0.00000
22	1.270000	1.266769	-37.275358	-5.903837
23	1.270000	1.266769	-35.892873	-11.662301
24	1.270000	1.266769	-33.626586	-17.133601
25	1.270000	1.266769	-30.532301	-22.183015
26	1.270000	1.266769	-26.686210	-26.686210
27	1.270000	1.266769	-22.183015	-30.532301
28	1.270000	1.266769	-17.133601	-33.626586
29	1.270000	1.266769	-11.662301	-35.892873
30	1.270000	1.266769	-5.903837	-37.275358
31	1.270000	1.266769	0.00000	-37.740000
32	1.270000	1.266769	5.903837	-37.275358
33	1.270000	1.266769	11.662301	-35.892873
34	1.270000	1.266769	17.133601	-33.626586
35	1.270000	1.266769	22.183015	-30.532301
36	1.270000	1.266769	26.686210	-26.686210
37	1.270000	1.266769	30.532301	-22.183015
38	1.270000	1.266769	33.626586	-17.133601
39	1.270000	1.266769	35.892873	-11.662301
40	1.270000	1.266769	37.275358	-5.903837

NOTE: The positions of the above rebars were computed by LPile

Minimum spacing between any two bars not equal to zero = 4.652 inches
between bars 24 and 25.

Ratio of bar spacing to maximum aggregate size = 6.20

Concrete Properties:

Compressive Strength of Concrete	=	4500. psi
Modulus of Elasticity of Concrete	=	3823676. psi
Modulus of Rupture of Concrete	=	-503.115295 psi
Compression Strain at Peak Stress	=	0.002001
Tensile Strain at Fracture of Concrete	=	-0.0001152
Maximum Coarse Aggregate Size	=	0.750000 in

Number of Axial Thrust Force Values Determined from Pile-head Loadings = 2

Number	Axial Thrust Force kips
1	69.420
2	111.067

Summary of Results for Nominal Moment Capacity for Section 1

Moment values interpolated at maximum compressive strain = 0.003
or maximum developed moment if pile fails at smaller strains.

Load No.	Axial Thrust kips	Nominal Mom. Cap. in-kip	Max. Comp. Strain
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1	69.420	107832.478	0.00300000
2	111.067	109089.257	0.00300000

Note that the values of moment capacity in the table above are not factored by a strength reduction factor (phi-factor).

In ACI 318, the value of the strength reduction factor depends on whether the transverse reinforcing steel bars are tied hoops (0.65) or spirals (0.75).

The above values should be multiplied by the appropriate strength reduction factor to compute ultimate moment capacity according to ACI 318, or the value required by the design standard being followed.

The following table presents factored moment capacities and corresponding bending stiffnesses computed for common resistance factor values used for reinforced concrete sections.

Axial Load No.	Resist. Factor	Nominal Ax. Thrust kips	Nominal Moment Cap in-kips	Ult. (Fac) Ax. Thrust kips	Ult. (Fac) Moment Cap in-kips	Bend. Stiff. at Ult Mom kip-in^2
1	0.65	69.420000	107832.	45.123000	70091.	2.1816E+09
2	0.65	111.066667	109089.	72.193333	70908.	2.2096E+09
1	0.75	69.420000	107832.	52.065000	80874.	2.1046E+09
2	0.75	111.066667	109089.	83.300000	81817.	2.1323E+09
1	0.90	69.420000	107832.	62.478000	97049.	1.4079E+09
2	0.90	111.066667	109089.	99.960000	98180.	1.4280E+09

Summary of Pile-head Responses for Conventional Analyses

Definitions of Pile-head Loading Conditions:

Load Type 1: Load 1 = Shear, V, lbs, and Load 2 = Moment, M, in-lbs
 Load Type 2: Load 1 = Shear, V, lbs, and Load 2 = Slope, S, radians
 Load Type 3: Load 1 = Shear, V, lbs, and Load 2 = Rot. Stiffness, R, in-lbs/rad.
 Load Type 4: Load 1 = Top Deflection, y, inches, and Load 2 = Moment, M, in-lbs
 Load Type 5: Load 1 = Top Deflection, y, inches, and Load 2 = Slope, S, radians

Load Case No.	Load Type	Pile-head Load 1	Load Type	Pile-head Load 2	Axial Loading lbs	Pile-head Deflection inches	Pile-head Rotation radians	Max Shear in Pile lbs	Max Moment in Pile in-lbs
1	V, lb	55920.	M, in-lb	8.83E+07	111067.	19.9288	-0.07954	-450864.	9.00E+07
2	V, lb	11950.	M, in-lb	1.86E+07	69420.	0.06512	-4.46E-04	-88100.	1.89E+07

Maximum pile-head deflection = 19.9288205563 inches
 Maximum pile-head rotation = -0.0795378600 radians = -4.557184 deg.


The analysis ended normally.

IBC 1807.3.2.1



Moment (ft·k)	5,517.09	
Shear (k)	41.94	
Caisson diameter (ft)	7	
Caisson height above ground (ft)	0.5	
Caisson height below ground (ft)	29	
Lateral soil pressure (lb/ft ²)	300.00	
Ground to application of force, h (ft)	132.05	
Applied lateral force, P (lb)	41,940	
Lateral soil bearing pressure, S ₁ (lb/ft)	2,900.00	
Diameter, b (ft)	7	
A	4.83	$= (2.34P)/(S_1 b)$
Minimum depth of embedment, d (ft)	28.91	$= 0.5A[1 + (1 + (4.36h / A))^{1/2}]$

Exhibit N

Radio Frequency Emission Compliance

 <p>Test report issued by an Accredited Testing Laboratory</p> <p>Accred. no. 1761 Testing ISO/IEC 17025</p>

EMF Test Report: Ericsson Radio 4490HP 44B5 44B12A C (FCC)

Document number:	GFTL-22:001675 Uen Rev A	Date of report:	2022-12-20
Testing laboratory:	Ericsson EMF Research Laboratory Ericsson AB SE-164 80 Stockholm Sweden	Company/Client:	Rosita Jonsson EAB - Ericsson AB Isafjordsgatan 10 SE-164 80 Stockholm Sweden
Tests performed by:	Bo Xu	Dates of tests:	2022-12-20
Manufacturer and market name(s) of device:	Ericsson Radio 4490HP 44B5 44B12A C		
Testing has been performed in accordance with:	FCC OET Bulletin 65 IEC 62232:2017		
Test results:	RF exposure compliance boundaries (exclusion zones) in conformity with FCC 47 CFR 1.1310 to be included in the Customer Product Information (CPI) for Ericsson Radio 4490HP 44B5 44B12A C.		
Additional information:			
Signature:	Test Engineer  Bo Xu Senior Researcher bo.xu@ericsson.com Tel: +46 725931384	Quality Manager  Christer Törnevik Senior Expert – EMF and Health christer.tornevik@ericsson.com Tel: +46 705863148	

Summary of EMF Test Report¹

Equipment under test (EUT)

Product name	Radio 4490HP 44B5 44B12A C		
Product number	KRC 161 981/3, KRC 161 981/31		
Supported bands, Tx frequency range (MHz) and standards²	B5 B12A	869 - 894 729 - 745	WCDMA/LTE/NR LTE/NR
Duplexing technology	FDD		

Antennas

Product number	80010901
Tested mode(s)	B5 + B12A (WCDMA/LTE/NR + LTE/NR)

Results

RF exposure compliance boundaries, outside of which the exposure is below the general public (GP) and occupational (O) exposure limits, are listed below.

Dimensions of the box-shaped compliance boundary for general public (GP) and occupational (O) exposure for Radio 4490HP 44B5 44B12A C applicable in the US and markets employing FCC exposure limits. The compliance boundaries are determined for maximum nominal output power with 0.5 dB transmission loss and 0.6 dB output power tolerance included.

Mode and output power for Radio 4490HP				Dimensions of the box-shaped compliance boundary (m)							
				Distance in front of antenna		Width		Height		Distance behind antenna	
Band	Standard ²	Maximum nominal output power from the radio	IEC 62232 installation class	GP	O	GP	O	GP	O	GP	O
B5 + B12A	WCDMA/LTE/NR + LTE/NR	4 × 60 W + 4 × 60 W	E+	22.3	9.9	17.3	7.8	4.8	2.4	0.5	0.2

For the power levels specified in the table with tolerances added, and the upward rounding of compliance boundary dimensions to the nearest decimeter, the specified results are conservative.

¹ This page contains a summary of the test results. The full report provides a complete description of all test details and results.

² If the radio supports NB-IoT, the distances are the same.

1 General information

The test results presented in this report define compliance boundaries for Radio 4490HP 44B5 44B12A C. Outside of these compliance boundaries, the radio frequency (RF) exposure levels are below the limits specified by the Federal Communications Commission (FCC) [1]. The tests were performed by calculations in accordance with the Ericsson RF exposure calculation procedure for base stations [2], which is in conformity with the FCC OET Bulletin 65 [3] and IEC 62232:2017 [4].

It should be noted that the test results presented in this test report are valid for the frequency range specified in Table 1, for the antenna properties specified in Table 2, and for the power level, power tolerance, and transmission loss specified in Table 3. These data as well as the applied antenna pattern files were supplied by the client and may affect the validity of the results.

Proposed EMF health and safety information for inclusion in the Customer Product Information (CPI) is provided in Appendices A, B and C.

2 Equipment under test

Table 1 and Table 2 below summarize the technical data for the equipment under test (EUT) and the properties of the antenna. Table 3 lists the maximum nominal output power from the radio unit (total peak power from all antenna branches) and the total time-averaged power delivered to the antenna for the specified configuration. The total time-averaged power delivered to the antenna includes transmission loss and output power tolerance.

The EUT related data in Tables 1-3 were supplied by the client.

Table 1 Technical data for the EUT.

Product name and product number	Radio 4490HP 44B5 44B12A C		KRC 161 981/3, KRC 161 981/31
Supported bands, Tx frequency range (MHz), and standards²	B5 B12A	869 - 894 729 - 745	WCDMA/LTE/NR LTE/NR
Duplexing technology	FDD		
Exposure environment	General public, Occupational		
IEC 62232 installation class³	E+		

Table 2 Properties of the antenna.

Product number	80010901		
Type	Macro cell, directional, 4 Tx (2 columns, X polarized)		
Tested band and frequency range (MHz)	B5 B12A	869 - 894 729 - 745	
Gain (dBi)⁴	15.9		
Electrical tilt angle (degree)	2°		
Number of dual-polarized elements per column and element interspacing distance (mm)	7	250	
Dimensions, $H \times W \times D$ (mm)	1999 × 508 × 175		

Table 3 Maximum nominal output power and total time-averaged power including transmission loss and output power tolerance for EUT.

Band	Standard	Maximum nominal output power from the radio	Transmission loss (dB)	Power tolerance (dB)	Total time-averaged power delivered to antenna (dBm/W)
B5 + B12A	WCDMA/LTE/NR + LTE/NR	4 × 60 W + 4 × 60 W	0.5	0.6	56.9 / 491.2

³ The stated IEC 62232 installation class was determined based on the total EIRP without power tolerance included and considering the transmission loss. The total EIRP was obtained using the antenna patterns provided by the client.

⁴ Maximum gain per antenna port obtained using the antenna patterns provided by the antenna manufacturers.

3 Exposure conditions

The EUT is intended to be used outdoor and installed on poles, walls, masts, towers, or similar structures making it possible to ensure that the general public has no access to the EMF compliance boundary. Other installation related exposure conditions are not reasonably foreseeable for the EUT.

The assessments were conducted for maximum power configurations, i.e., by assuming 100% utilization. Effects of real RBS utilization (time-averaged) is reasonably foreseeable and will significantly reduce the time-averaged power and the RF exposure. This factor was not considered in this assessment, which adds to the conservativeness of the obtained compliance boundaries.

4 EMF compliance boundary calculations

The RF exposure was evaluated using calculations performed according to the Ericsson RF Exposure Calculation Procedure for Base Stations [2], which conforms to FCC OET Bulletin 65 [3] and IEC 62232 [4]. The calculations were made using the Ericsson in-house MATLAB-based tool called MSI compliance analyzer (release 2022-02) [5]. The first step in calculating the compliance boundary was to use the spherical far-field formula to estimate power density:

$$S_{\text{sph}}(\theta, \phi) = \frac{P_a G(\theta, \phi)}{4\pi r^2},$$

where S, P_a, G, r, θ , and ϕ denote the power density, the power accepted by each antenna port, the antenna gain per port, the distance from the antenna, and the angular variables in a spherical coordinate system, respectively. Antenna far-field measurement data were provided by the client for five frequencies, specifically 869 MHz, 880 MHz, 882 MHz, and 894MHz (B5) and 737MHz (B12A). The procedure described in this section was applied to each of these, and the compliance boundaries were determined as the maximum values for the tested frequencies. Power density was evaluated for the lowest applicable electrical down tilt of the antenna (2°). The maximum gain values were found to 15.9 dBi (pol +45) and 15.8 dBi (pol -45), considering all the tested frequencies within B5 B12A.

The tested configurations are characterized by a total of 4 transmitters (4 TX per band), and the RF exposure was determined for both bands operating simultaneously (each antenna port serving both B5 and B12A).

The accepted power per port was taken as the total power delivered to the antenna, including tolerances, divided by the number of ports. In the frontal hemisphere ($\phi \in [-\frac{\pi}{2}, \frac{\pi}{2}]$), the exposure from antenna ports with the same nominal polarizations (denoted ± 45) were summed in a correlated way to consider beamforming while the exposure from antenna ports with different nominal polarizations were summed in an uncorrelated manner. Also, in the rear hemisphere ($\phi \notin [-\frac{\pi}{2}, \frac{\pi}{2}]$), uncorrelated exposure was assumed [2]. With the two antenna columns denoted 1 and 2, the total power density as estimated by the spherical far-field formula is thus given by:

$$S_{\text{total,sph,B5}} = \begin{cases} \left(\sqrt{S_{\text{sph},1,+45,\text{B5}}} + \sqrt{S_{\text{sph},2,+45,\text{B5}}} \right)^2 + \left(\sqrt{S_{\text{sph},1,-45,\text{B5}}} + \sqrt{S_{\text{sph},2,-45,\text{B5}}} \right)^2 & , \phi \in \left[-\frac{\pi}{2}, \frac{\pi}{2} \right] \\ S_{\text{sph},1,+45,\text{B5}} + S_{\text{sph},2,+45,\text{B5}} + S_{\text{sph},1,-45,\text{B5}} + S_{\text{sph},2,-45,\text{B5}} & , \phi \notin \left[-\frac{\pi}{2}, \frac{\pi}{2} \right] \end{cases}$$

$$S_{\text{total,sph,B12A}} = \begin{cases} \left(\sqrt{S_{\text{sph},1,+45,\text{B12A}}} + \sqrt{S_{\text{sph},2,+45,\text{B12A}}} \right)^2 + \left(\sqrt{S_{\text{sph},1,-45,\text{B12A}}} + \sqrt{S_{\text{sph},2,-45,\text{B12A}}} \right)^2 & , \phi \in \left[-\frac{\pi}{2}, \frac{\pi}{2} \right] \\ S_{\text{sph},1,+45,\text{B12A}} + S_{\text{sph},2,+45,\text{B12A}} + S_{\text{sph},1,-45,\text{B12A}} + S_{\text{sph},2,-45,\text{B12A}} & , \phi \notin \left[-\frac{\pi}{2}, \frac{\pi}{2} \right] \end{cases}$$

The compliance distance for the spherical model, $CD_{\text{sph}}(\theta, \phi)$ was obtained by solving the following equation for r :

$$\frac{S_{\text{total,sph,B5}}(r, \theta, \phi)}{S_{\text{gp,o,B5}}^{\text{lim}}} + \frac{S_{\text{total,sph,B12A}}(r, \theta, \phi)}{S_{\text{gp,o,B12A}}^{\text{lim}}} = 1$$

where $S_{gp,0}^{lim}$ denotes the FCC power density limits for general public and occupational exposure. The limits for the frequency bands of interest are given in Table 4.

Table 4 RF EMF exposure limits on power density for the frequency band used by the EUT.

Band	S_{gp}^{lim} (W/m ²)	S_0^{lim} (W/m ²)
B5	5.8	29.0
B12A	4.9	24.3

If the spherical far-field formula is applied in the near-field, very conservative results may be obtained. Within the main beam direction, a better approximation of the spatial peak power density per antenna port is in this case obtained by using the cylindrical wave model⁵ [6] given by

$$S_{cyl}(r, \phi) = \frac{6 \cdot P_t \cdot 2^{-\left(\frac{2\phi}{\Phi_{3dB}}\right)^2}}{\pi \Phi_{3dB} \cdot r \cdot L \cdot \cos^2(\gamma) \cdot \sqrt{1 + \left(\frac{2r}{r_0}\right)^2}}, \quad r_0 = \frac{\Phi_{3dB}}{12} D_A \cdot L \cdot \cos^2(\gamma),$$

where P_t, L, D_A, Φ_{3dB} , and γ denote the transmitted power per antenna port⁶ (W), the length over which the antenna elements are distributed (m), the peak directivity (unit-less), the horizontal half-power beam width (radians) and the electrical down tilt (radians), respectively. Here, D_A and Φ_{3dB} were obtained from the far-field measurement for each antenna port for the lowest applicable electrical tilt.

Similarly, as for the spherical formula, the total power density as estimated using the cylindrical wave model is given by

$$S_{total,cyl,B5}(r, \phi) = \left(\sqrt{S_{cyl,1,+45,B5}(r, \phi)} + \sqrt{S_{cyl,2,+45,B5}(r, \phi)} \right)^2 + \left(\sqrt{S_{cyl,1,-45,B5}(r, \phi)} + \sqrt{S_{cyl,2,-45,B5}(r, \phi)} \right)^2$$

$$S_{total,cyl,B12A}(r, \phi) = \left(\sqrt{S_{cyl,1,+45,B12A}(r, \phi)} + \sqrt{S_{cyl,2,+45,B12A}(r, \phi)} \right)^2 + \left(\sqrt{S_{cyl,1,-45,B12A}(r, \phi)} + \sqrt{S_{cyl,2,-45,B12A}(r, \phi)} \right)^2$$

The compliance distance for the cylindrical model, $CD_{cyl}(\phi)$ was obtained by solving the following equation for r :

$$\frac{S_{total,cyl,B5}(r, \phi)}{S_{gp,0,B5}^{lim}} + \frac{S_{total,cyl,B12A}(r, \phi)}{S_{gp,0,B12A}^{lim}} = 1$$

The cylindrical wave model is applicable within the main beam for $-\pi/6 \leq \phi \leq \pi/6$ and $|z| \leq L/2$ (where z is the axis defined along the height of the antenna) and it is more accurate in the near-field regions where the spherical model is conservative. Therefore, within this angular range in the horizontal plane, the compliance distance is taken as the lesser of the values obtained by the two models [2]

$$CD(\theta, \phi) = \min(CD_{sph}(\theta, \phi), CD_{cyl}(\phi)).$$

Based on the calculated compliance distances, a box-shaped compliance boundary was determined. To comply with the FCC requirement of a minimum test separation distance for a non-portable device of 20 cm, the minimum distance from the antenna to the compliance boundary was set to 20 cm.

⁵ In IEC 62232 **Error! Reference source not found.**, a slightly simplified cylindrical wave model is specified based on the approximation $\pi \approx 3$. Here, the expression in the original journal paper has been used which in the main beam direction $\phi = 0^\circ$ correctly converges to the spherical far field formula as $r \rightarrow \infty$.

⁶ The transmitted power per antenna port were conservatively taken as the accepted power per antenna port.

5 Results

A box-shaped compliance boundary is used, characterized by its width, height, and the compliance distances behind and in front of the antenna, see Figure 1. Outside of this box, the RF exposure is below the exposure limits.

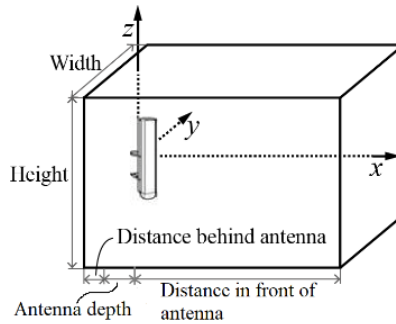


Figure 1 Box-shaped structure specifying the compliance boundary for the tested antenna.

When applied behind the antenna, the spherical far-field formula provides very conservative results. Therefore, the compliance distance in this direction should be interpreted as a large overestimate of the true value.

In Figure 2, the compliance distance results for general public (blue line) and occupational (red line) exposure are given for the tested configuration leading to the largest compliance boundary. The solid-colored lines represent the result obtained with the spherical model while the dash-dotted line represents the result obtained with the cylindrical wave model. Also shown are the resulting compliance boundaries (black lines, solid for general public, dashed for occupational exposure). The resulting compliance boundary dimensions are given in Table 5 rounded upwards to the nearest decimeter.

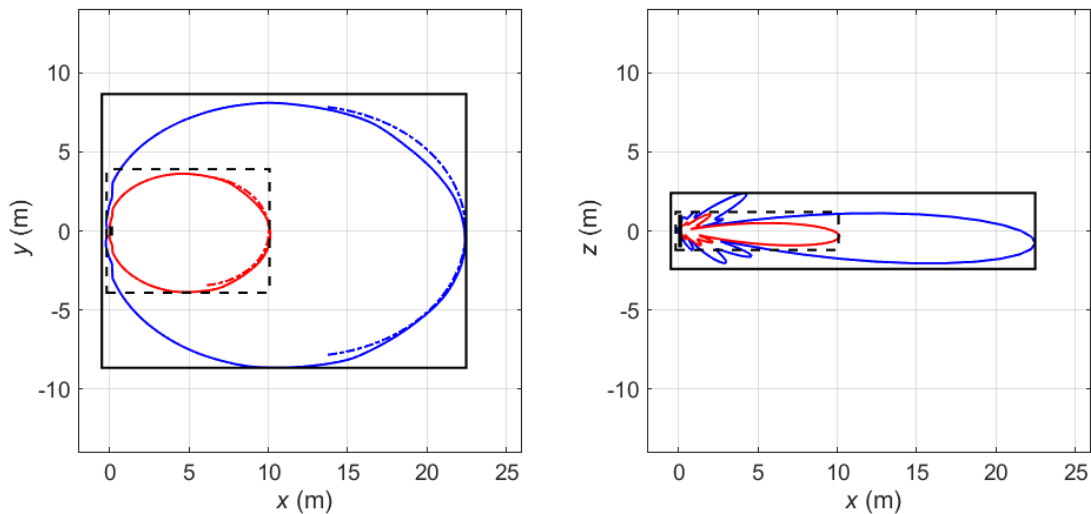


Figure 2 Compliance boundary for general public (black solid line) and occupational (black dashed line) exposure. The blue solid and dash-dotted lines correspond to compliance distance results for general public exposure obtained using the spherical and cylindrical models, respectively. The red solid and dash-dotted lines correspond to compliance distance results for occupational exposure obtained using the spherical and cylindrical models, respectively. The antenna is shown from the above (left) and from the side (right) with its back plane located at $x = 0$ m. Mode: B5 + B12A (WCDMA/LTE/NR + LTE/NR). Total time-averaged power delivered to the antenna: 491.2 W.

Table 5 Dimensions of the box-shaped compliance boundary for general public (GP) and occupational (O) exposure for Radio 4490HP 44B5 44B12A C applicable in the US and markets employing the FCC RF exposure limits. The compliance boundaries are determined for maximum nominal output power with 0.5 dB transmission loss and 0.6 dB output power tolerance included.

Mode and output power for Radio 4490HP				Dimensions of the box-shaped compliance boundary (m)							
				Distance in front of antenna		Width		Height		Distance behind antenna	
Band	Standard ²	Maximum nominal output power from the radio	IEC 62232 installation class	GP	O	GP	O	GP	O	GP	O
B5 + B12A	WCDMA/LTE/NR + LTE/NR	4 × 60 W + 4 × 60 W	E+	22.3	9.9	17.3	7.8	4.8	2.4	0.5	0.2

For the power levels specified in the table with tolerances added, and the upward rounding of compliance boundary dimensions to the nearest decimeter, the specified results are conservative.

6 Uncertainty

For the input parameters defined in the test report, the calculated compliance boundary dimensions determined according to the approach described in Section 4 results in an exposure assessment which is conservative. The compliance boundary dimensions were determined by comparing the evaluated RF exposure directly with the limits.

7 Conclusion

The Ericsson Radio 4490HP 44B5 44B12A C has been tested using methods and procedures specified in FCC OET Bulletin 65 [3] and IEC 62232:2017 [4]. The results in Section 5 show the compliance boundary dimensions of the product to be included in the Customer Product Information (CPI). Outside of these compliance boundaries, the RF exposure is below the limits specified in [1].

8 References

- [1] FCC, Code of Federal Regulations CFR title 47, part 1.1310 "Radiofrequency radiation exposure limits", Federal Communications Commission (FCC), August 1997.
- [2] Ericsson, GFTE-16:001718 Uen, "Ericsson RF exposure calculation procedure for base stations".
- [3] FCC, "Evaluating compliance with FCC guidelines for human exposure to radiofrequency electromagnetic fields. OET Bulletin 65. Edition 97-01." Federal Communications Commission (FCC), Office of Engineering and Technology, August 1997.
- [4] IEC 62232:2017, "Determination of RF field strength, power density and SAR in the vicinity of radiocommunication base stations for the purpose of evaluating human exposure", June 2017.
- [5] Ericsson, GFTL-19:000424 Uen, "User manual of MSI compliance analyzer".
- [6] R. Cicchetti and A. Faraone, "Estimation of the peak power density in the vicinity of cellular and radio base station antennas", IEEE Trans. Electromagn. Compat., vol. 46, no. 2, pp. 275–290, 2004.
- [7] Ericsson, LME-12:001904 Uen, "Exposure to radio frequency electromagnetic fields".

9 Revision history

Rev.	Date	Description
A	2022-12-20	First revision

Appendix A. Information to be included in the CPI

Table A.1 below lists the compliance boundaries (exclusion zones), outside of which the RF EMF exposure from Radio 4490HP 44B5 44B12A C is below the limits applicable in:

- USA (47 CFR 1.1310)

Table A.1 Dimensions of the box-shaped compliance boundary for general public (GP) and occupational (O) exposure for FCC applicable in the US and markets employing the FCC RF exposure limits. The compliance boundaries are determined for maximum output power with 0.5 dB transmission loss and 0.6 dB output power tolerance included.

Mode and output power				Dimensions of the box-shaped compliance boundary ⁽¹⁾⁽²⁾ (m)							
				Distance in front of antenna		Width		Height		Distance behind antenna	
Product	Standard	Maximum nominal output power from the radio	IEC 62232 installation class	GP	O	GP	O	GP	O	GP	O
Radio 4490HP 44B5 44B12A C	WCDMA/LTE/NR + LTE/NR	4 x 60 W + 4 x 60 W	E+	22.3	9.9	17.3	7.8	4.8	2.4	0.5	0.2

(1) The compliance boundaries are determined for maximum output power with transmission loss and power tolerance included using the antenna 80010901 for an electrical tilt of 2°.

(2) If the radio supports NB-IoT, the distances are the same.

Appendix B. Guidelines on how to install the product

The antenna connected to the Radio 4490HP 44B5 44B12A C product (KRC 161 981/3, KRC 161 981/31) shall be installed to make sure that the general public does not have access to the applicable RF EMF compliance boundary. The compliance boundary dimensions were determined for the product transmitting in free space.

Appendix C. Guidelines for workers during installation, maintenance, and repair of the product

For antenna connected to the Radio 4490HP 44B5 44B12A C product (KRC 161 981/3, KRC 161 981/31), if work needs to be performed within the compliance boundary applicable for workers, the radio equipment shall be powered off, or the power be reduced to a level ensuring that the RF EMF exposure is below the relevant exposure limit for workers.

If work is conducted on behalf of Ericsson, minimum EMF related requirements are provided in [7].

Appendix D. Photograph/Sketch of the EUT



Exhibit A

Signed Conditional Use Application

Exhibit B

Letter of Authorization (LOI)

Exhibit C

Ownership Report

Exhibit D

Ownership Map

The attached maps correspond to the certified list of the names and addresses of all property owners of record within the required three hundred (300) foot radiuses provided by Modern Abstract and Title, an Oklahoma Bonded Abstract office. The properties identified as #1 include the subject property and adjacent properties owned by the same landowner.

Exhibit E

Legal Description

The legal description in metes and bounds format for the parent parcel, the proposed tower lease area, and the 30-foot access, fiber, and utility easement are provided on Sheet 2 of the attached Survey. A copy of the same legal descriptions is also included in narrative format following the survey.

Exhibit F

Zoning Drawings

The enclosed zoning drawings provide a detailed visual representation of the proposed wireless facility, compound layout, and development requirements prescribed in the code. All drawings have been accurately prepared to scale and reviewed for consistency with zoning requirements such as setbacks, height, fencing, access drives, and landscaping buffers, ensuring that the plans align with the compliance narrative and local development standards.

Exhibit G

Zoning Narrative Addressing Code

This narrative aims to address all relevant sections of the City's zoning ordinance related to the proposed antenna support structure. The goal is to demonstrate that the project complies with all necessary land use regulations and to provide transparent, accurate, and comprehensive information throughout the zoning review process. Please find CitySwitch's responses to the City's Code requirements underlined and in italics.

CHAPTER 153: ANTENNA AND ANTENNA SUPPORT STRUCTURES

Section

- 153.01 Definitions
- 153.02 Franchises
- 153.03 Removal of abandoned antennas
- 153.04 Annual reporting
- 153.05 Reasonable defense against prosecution
- 153.06 Building permit required
- 153.07 Bond for antenna support structure and antenna removal
- 153.08 Application and permit requirement for all antenna and antenna support structures
- 153.09 Site plan review
- 153.10 Antenna support structures and antennas mounted on existing structures

§ 153.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

ANTENNA. Any structure or device used to collect or radiate telephone, radio, television, or electromagnetic waves or microwave signals. The antenna may include both directional antennas, such as panels and dishes (including microwave reflectors/ antennas) and omni-directional antennas such as whips. For the purposes of this chapter, an ANTENNA is a device of at least 36 inches in height, width or diameter.

ANTENNA SUPPORT STRUCTURE. Any tower, monopole, mast, pole, tripod, box frame, or other structure utilized for the purpose of supporting, stabilizing, bearing the weight of or reinforcing transmission, retransmission and/or reception equipment or antenna for telephone, electromagnetic, radio, television or microwave signals.

EIA-222. Electronics Industries Association Standard 222, "Structural Standards for Steel Antenna Towers and Antenna Support Structures."

LATTICE TOWER. A metal truss, self-supporting structure designed to support fixtures which hold one or more antennas and related equipment.

MAIN STREET DISTRICT. An area of the city bounded between East First Avenue on the east, West Fifth Avenue on the west, Beech Street on the north, and Arkansas Street on the south.

MONOPOLE. A self-supporting pole type structure, tapering from base to top and so designed to support fixtures which hold one or more antennas and related equipment.

NON-WHIP ANTENNA. An antenna which is not a whip antenna, such as a dish antenna, panel antenna, and the like.

WHIP ANTENNA. An omni-directional dipole antenna of cylindrical shape which is no more than six inches in diameter.(Prior Code, § 154.01) (Ord. 1298, passed 1-11-2000)

§ 153.02 FRANCHISES.

The facilities and structures of franchised cable television providers are governed by the provisions of the franchise contract.

- Response: This subsection does not apply to this CUP request.

(Prior Code, § 154.02) (Ord. 1298, passed 1-11-2000)

§ 153.03 REMOVAL OF ABANDONED ANTENNAS.

Any antenna or antenna support structure that is not operated for a continuous period of six months shall be considered abandoned, and the owner of such antenna or structure shall remove same within 90 days of receipt of notice from the Building Official, notifying the owner of such abandonment. If such antenna or structure is not removed within the 90 days, the Building Official may cause such antenna and/or antenna support structure to be removed at the owner's expense. If there are (or were) two or more users of a single support structure, then this provision shall not become effective until all users cease using the structure.

- Response: The requirement to remove the abandoned antennas is acknowledged, and the Applicant will notify the City if all tenants on the proposed tower remove their equipment for a continuous six-month period.

(Prior Code, § 154.03) (Ord. 1298, passed 1-11-2000)

§ 153.04 ANNUAL REPORTING.

Within 90 days of the enactment of this chapter and during each January thereafter, providers of broadcast/reception services operating in the city shall provide the city with a current master plan of all broadcast/reception equipment, including detailed maps, showing the precise locations, and characteristics of all antenna support structures and antennas serving any portion of the city and indicating coverage areas for current and reasonably expected future antenna support structures and antennas. Updating documents shall be provided to the city within three months of their creation.

- Response: The Applicant acknowledges this requirement and will inform the providers on the tower of this obligation.

(Prior Code, § 154.04) (Ord. 1298, passed 1-11-2000)

§ 153.05 REASONABLE DEFENSE AGAINST PROSECUTION.

It shall be an affirmative defense to prosecution for violation of a provision of this code that compliance with the provision would prohibit lawful broadcast/reception services. In addition, any broadcast/reception service prohibited by the zoning and land use ordinances may apply for a variance with the City Council. Upon showing that strict application of the regulation would prohibit or have the effect of prohibiting lawful broadcast/reception services, the City Council may grant a variance, consistent with the spirit and intent of this chapter, to the extent necessary to prevent the prohibition.

(Prior Code, § 154.05) (Ord. 1298, passed 1-11-2000)

- Response: This section is not applicable.

§ 153.06 BUILDING PERMIT REQUIRED.

(A) Antennas and antenna support structures, except those used by a properly permitted cable television franchisee or branch of federal, state, or local government shall be permitted and located only in accordance with this code after the applicant has complied with the requirements of this code of ordinances.

(B) Administrative rejection of an application for a permit to erect an antenna or antenna support structure under this code may be reconsidered by the Municipal Planning Commission as a request for a conditional use permit. Rejection of the conditional use permit request may be appealed to the City Council.

- Response: The Applicant is applying for a conditional use to construct an antenna support structure in the A-1 Agriculture zone. If approved by the city council, CitySwitch agrees to maintain the tower according to city code.

(Prior Code, § 154.06) (Ord. 1298, passed 1-11-2000)

§ 153.07 BOND FOR ANTENNA SUPPORT STRUCTURE AND ANTENNA REMOVAL.

(A) Before a building permit can be issued for an antenna support structure or antenna, the applicant must pay a cash amount equal to the entire cost as estimated by an engineer to remove the antenna support structure and antenna should it become abandoned.

(B) In lieu of cash payment, the applicant may file an executed surety bond with the City Clerk to guarantee recovery of the antenna support structure and antenna removal costs. The amount of the bond shall be 100% surety and sufficient to cover one and one-half times the entire cost, as estimated by the engineer, of the removal of the abandoned antenna support structure and antenna. The term of the bond shall be for the expected life of the antenna support structure and antenna.

(Prior Code, § 154.07) (Ord. 1298, passed 1-11-2000)

- Response: Before applying for a building permit, CitySwitch agrees to either pay a cash amount equal to the total estimated cost or submit an executed surety bond with the City Clerk that is sufficient to cover one and a half times the total cost of removing the tower and antenna, as estimated by an engineer, if the support structure and antenna are abandoned.

§ 153.08 APPLICATION AND PERMIT REQUIREMENT FOR ALL ANTENNA AND ANTENNA SUPPORT STRUCTURES.

(A) Ownership. The applicant for a building permit to construct a telecommunications tower or antenna must be the owner of the property or his or her legal agent or possess a signed and legally notarized statement from the property owner indicating his or her consent. Any leased area must be large enough to accommodate the tower or antenna and support facilities and include access to a public street or accessible parking area. Purchase or ownership of a separate parcel may require platting and improvements before construction permits can be issued.

- Response: If the Conditional Use is approved, CitySwitch understands that the property owner or the property owner's legal agent must submit a signed and notarized statement from the property owner authorizing the building permit application.

(B) Site plan. Prior to the issuance of a building permit a site plan shall be submitted by the applicant to the Building Official in such a manner as will satisfy all of the following requirements:

(1) No antenna support structure or antenna, microwave reflector/antenna or associated foundations, anchors, or support wires may be located within any required front, side or rear yard or closer than five feet to any property line;

- *Response: The proposed tower and ground equipment will meet all required setbacks for the tower and associated ground equipment (see Exhibit E, Zoning Drawings, Sheet XX)*

(2) Access to an antenna support structure and related facilities or buildings must be through a locked gate with the antenna support structure equipped with an appropriate anti-climbing device;

- *Response: The proposed fence will have a gate with a lock to secure the equipment compound. The proposed 8' fence will be topped with three strands of barbed wire to prevent access to the equipment compound and tower (See Exhibit E, Zoning Drawings, Sheet XX)*

(3) Any antenna support structure and related facilities or buildings must be similar in color and character to the main or adjoining building or structure or blend with the landscaping and other surroundings in the immediate vicinity to the extent practical. The antenna support structure and the related facilities or buildings shall be enclosed by a screen eight feet in height, using a chain link or wrought iron fence with an evergreen hedge or a totally opaque screening fence or a masonry wall. This enclosure shall be paved or graveled and kept weed-free. Equipment or vehicles not necessary for direct support of the use shall not be stored or parked on the site unless repairs to the facility are being made or unless the zoning district permits such a storage use;

- *Response: Existing trees north of the tower toward US Hwy 75 and south will help screen the lower part of the proposed tower, and the ground lease area will not be visible from the highway. The proposed tower is approximately .30 miles (1,563' 52") north of the Hwy 78 and Shady Creek intersection, and the ground equipment compound will not be visible from this distance. The proposed tower is similar in color and character to the existing tower within the same search ring.*
- *An 8-foot chain-link fence, accompanied by an evergreen hedge with 3-gallon-sized plants installed every five feet on center, will be provided to secure and screen the equipment compound.*
- *The equipment compound (enclosure) will be graveled and maintained weed-free.*
- *No storage of any kind, including vehicles or equipment, will be permitted in the lease area.*
- *See Exhibit D, Sheet XX)*

(4) The antenna support structure shall be erected and operated in compliance with current Federal Communications Commission and Federal Aviation Administration rules and regulations and other applicable federal and state standards;

- *Response: The tower owner agrees to construct and maintain the proposed tower in accordance with all FCC, FAA, and other relevant federal and state rules, regulations, and standards.*
- *See Exhibit XX FAA Determination of No Hazard*

(5) A commercially used antenna support structure must be:

- (a) Used by two or more broadcast/ reception services; or

- Response: The proposed tower has a reinforced structural framework, ensuring long-term flexibility and capacity for up to five tenants. No additional structural modifications to the tower or foundation are expected.

(b) Designed and built so as to be capable of use by two or more broadcast/reception services while allowing no more than three degrees of twist and sway at the top elevation. The owner of the antenna support structure must certify to the city that the antenna is available for use by another broadcast/ reception service on a reasonable and nondiscriminatory basis at a cost not exceeding the market value for the use of the facilities, provided space is available at the time of the request.

- Response: CitySwitch certifies that the antenna support structure is available for use by other broadcast and reception services on a reasonable and nondiscriminatory basis, at a cost not exceeding fair market value, subject to space availability at the time of request.
- See Exhibit XX

(6) No lettering, symbols, images, or trademarks large enough to be legible from any public street shall be placed on or affixed to any part of an antenna support structure, antenna array, or antenna other than as required by FCC regulations regarding tower registration or other applicable law. No commercial advertising, signage, or flag shall be allowed on any antenna support structure. This shall not prevent the joint use of a legal existing sign structure in an appropriate zoning district as a support mechanism for an antenna;

- Response: CitySwitch confirms that no signage, advertising, or markings will be added to the antenna structure except as required by law.

(7) The need for the antenna support structure at the proposed site shall be documented as a part of the site plan, including an assessment of the existing antenna support structures in the vicinity of the city, noting why existing structures are unsuitable or unavailable;

- Response: The applicant acknowledges the Code requirement to document need and evaluate existing antenna support structures. AT&T is already collocated on the only tower nearby, demonstrating good-faith compliance with the City's policy of minimizing new towers. However, the existing structure cannot support AT&T's planned network upgrades and long-term service needs. The proposed monopole location stays within the provider's search ring, maximizes distance from nearby residences, and aligns with the Future Land Use Map's commercial designation, ensuring the facility meets technical requirements while remaining compatible with surrounding land uses.
- See Exhibit I, Search Ring
- See Exhibit J, Propagation Maps

(8) Antenna support structures should be constructed to minimize potential safety hazards. Antenna support structures and antennas shall be constructed so as to meet or exceed the most recent EIA-222 standards. Prior to issuance of a building permit, the Building Official shall be provided with an engineer's certification that the tower's design meets or exceeds those standards. All antenna support structures shall be located in such a manner that if the structure should fall along its longest dimension, it will remain within property boundaries and avoid residential structures, public streets, utility lines and any other antenna support structure;

- Response: The proposed antenna support structure will be constructed in full compliance with the latest EIA/TIA-222 standards for antenna towers and supporting facilities. Before issuing a building permit, a licensed professional engineer will submit certification to the

Building Official confirming that the tower's design meets or exceeds these standards. The tower is designed with a fall zone entirely contained within the parent parcel, ensuring that even in the unlikely event of structural failure, the tower will remain within property boundaries and will not impact existing residential structures or public streets. The site plan and engineering documents demonstrate adherence to these safety standards, minimizing potential hazards and ensuring the facility does not pose risks to surrounding land uses.

(9) Antenna support structures, antennas, and related facilities and buildings shall be located to minimize their number, height, and obtrusiveness in order to minimize visual impacts on the surrounding area and in accordance with the following policies:

(a) Ensure that the height of antenna support structures and antennas has the least visual impact and is no greater than required to achieve service area requirements and potential collocation;

- Response: The applicant affirms compliance with the Code requirement to minimize the height and visual impact of antenna support structures. The proposed facility is a 155-foot monopole with a 5-foot lightning rod, totaling 160 feet. This design is similar in height to the nearby 150-foot monopole and remains well below the City's maximum allowable height of 200 feet. The tower has been engineered to support up to five tenants, maximizing collocation opportunities and reducing the likelihood of needing additional towers in the future.
- The proposed height is the minimum needed to meet AT&T's continuous network coverage goals during the transition from the existing tower to the new one, while still providing sufficient capacity for collocation.
- Finally, using a monopole design specifically recognized in the Code as the preferred tower type provides a sleek profile that the City desires to reduce skyline impacts.

(b) Demonstrate that the selected site for a new antenna support structure provides the least visual impact on residential areas and the public rights-of-way. Analyze the potential impacts from other vantage points in the area to illustrate that the selected site provides the best opportunity to minimize the visual impact of the proposed facility. The antenna support structure and antenna should be obscured by vegetation, tree cover, topographic features, and buildings or other structures to the maximum extent feasible. All landscaping requirements of the particular zoning district shall be complied with fully. If security lighting is installed, such light shall be directed into the site and only triggered by motion detectors. Any related unmanned equipment building shall not contain more than 750 square feet of gross floor area and shall not be more than 12 feet in height;

- Response: The proposed monopole has been carefully sited to minimize visual impact on residential neighborhoods and public rights-of-way, in line with Code requirements. The site selection leverages the existing dense vegetation and tree cover along the eastern and northern boundaries, which naturally conceal the lower part of the facility from most viewpoints. Additionally, the tower is placed toward the north of the site, closer to existing commercial land uses on the north and south sides of US Hwy 75, and farther from residential existing neighborhoods west of Red Bud Lane and to the northwest of US Hwy 75.
- Photo simulations and existing condition images show that the structure will have limited visibility from nearby residences, with the closest being about 0.30 miles away, and that views from public corridors, such as US Highway 75, are partially blocked by topography and nearby vegetation. The tower is designed as a monopole, the least obtrusive tower type, and remains well below the maximum permitted height.

- To further minimize visual impact, the project will include the necessary evergreen hedge landscaping around the lease area and direct any required security lighting inward using motion activation.
- Any related equipment enclosure will not exceed 750 square feet in area or 12 feet in height, ensuring that accessory facilities maintain a minimal footprint at the tower's base.
- Collectively, these measures show that the proposed siting offers the best chance to reduce visual impacts while adhering to all development standards.

(c) Historically significant landscapes shall be protected. The view of and vistas from architecturally and/or historically significant structures should not be impaired or diminished by the placement of antenna support structures or antennas; and

- Response: The City did not identify any historically significant landscapes or views from vistas associated with architecturally or historically significant structures during the pre-development conference.

(d) The Planning Commission may recommend a variance and the City Council may grant a variance to a requirement for an antenna support structure when it is determined that such a variance better accomplishes the policies set out in this chapter than would a strict application of the requirement. Such variance, however, shall be no greater than necessary to accomplish the policies established herein.

- Response: Acknowledged and understood.

(10) No signals or lights or illumination shall be permitted on an antenna support structure unless required by the Federal Communications Commission, the Federal Aviation Administration, or the city;

- Response: The FAA does not require lighting for the proposed tower, and CitySwitch does not plan to install any additional lighting on the tower.

(11) If any additions, changes, or modifications are to be made to the antenna support structure, the Building Official shall have the authority to require proof, through the submission of engineering and structural data, that the addition, change, or modification conforms to structural wind load and all other requirements of the current building code adopted by the city;

- Response: The applicant acknowledges the authority of the Building Official to require proof of compliance and will submit certified engineering and structural data verifying that any modification conforms to wind load, seismic load, and all other structural requirements of the current code and the EIA/TIA-222 standard.
- By committing to this compliance process, the applicant ensures that the tower will continue to meet all safety, structural integrity, and engineering standards throughout its service life.

(12) To enable the Building Official, Planning Commission, and/or City Council to access the visual impact of the proposed antenna support structure and antenna, the applicant shall submit color photo simulations showing the proposed site with a photo-realistic representation of the proposed structure as it would appear viewed from the closest residential property or from one-fourth mile in the direction of the nearest residentially zoned property, whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site, without the proposed antenna support structure and antenna;

- Response: To help the Building Official, Planning Commission, and City Council assess the visual impact of the proposed antenna support structure, the applicant is submitting color photo simulations with photo-realistic views of the tower from key vantage points.
- The nearest off-site residential dwelling units are located southwest of the subject site at the intersection of Red Bud Lane (E2055 Road) and N 1st Avenue, approximately 0.30 miles (1,563 feet) from the proposed tower. The before-and-after simulation shown is from this area looking north toward the tower. This image also captures the view from the closest A-1 zoned property not owned by the applicant, on the west side of Shady Creek Road with an address from N 1st Avenue. This tract, currently undeveloped and marked as commercial on the Future Land Use Map, is about 0.10 miles from the proposed tower.
- A second photo simulation was created from the north side of US Highway 75, looking south toward the proposed tower. This property is zoned A-1, designated as commercial in the Future Land Use Map, and located approximately 0.11 miles (584 feet) from the proposed tower.
- These photo simulations, along with existing condition photographs, demonstrate that the proposed structure is positioned in a manner consistent with surrounding and future non-residential land use patterns in the proposed tower's geographic area.

(13) The antenna support structure complies with all ordinances of the city not in conflict with this chapter;

- Response: The proposed antenna support structure has been designed to fully adhere to all applicable ordinances of the City that are not in conflict with this chapter's provisions. The facility will follow all development, building, and safety requirements set by the City, ensuring conformity with local regulations and community standards.

(14) Any antenna support structure legally erected prior to January 11, 2000 can be extended upward to accommodate additional antennas so long as the total height limitation of this chapter is not exceeded and permitting requirements of this chapter are met;

- Response: This subsection does not apply to this CUP request.

(15) In addition to the usual application fee for a request for a change in zoning, the applicant shall reimburse the city for the reasonable, actual cost to the city for the services of an engineer should one be required to review the application and provide engineering expertise;

- Response: The applicant agrees to reimburse the City for the reasonable, actual cost of engineering services required to review this application, in addition to the standard application fee.

(16) In order to minimize visual impacts that can result from the presence of antenna support structures, such structures and associated facilities may not exceed 200 feet in height. Monopole construction, free of guy-wire support systems, is encouraged whenever feasible. Compliance with all requirements of the Building Code, including an engineer's structural certification of the antenna support structure, must be demonstrated before a construction permit can be issued;

- Response: The proposed antenna support structure is a monopole design standing 155 feet tall, with an additional 5-foot lightning rod, bringing the total height to 160 feet. This height is well below the City's maximum allowable limit of 200 feet. The monopole choice is made to reduce visual impact, as it does not require guy-wire supports and presents a cleaner, less obtrusive profile.

- The applicant will demonstrate full compliance with all relevant Building Code requirements before permit issuance, including submitting a licensed engineer's certification verifying the tower's structural integrity according to industry standards.

(17) No commercial antenna support structure shall be located closer than 200 feet to the boundary line of any property zoned or used for any residential purpose. All antenna support structures shall observe a minimum setback from any abutting street right-of-way equal to the combined height of the support structure and attached antennas. An exception maybe granted by the Building Official or the City Council where engineering documents indicate that the tower design will assure that a collapsing tower will fall within a smaller area. Under no circumstances, however, may a freestanding antenna support structure be located closer than 50 feet from the abutting street right-of-way. Setbacks from residentially zoned property do not apply to antennas attached to public utility structures exceeding 75 feet in height or to antennas placed wholly within a building;

- Response: The applicant requests an exception to the standard setback requirements by providing an engineer's letter certifying that the proposed monopole tower is structurally designed to collapse within a 50-foot radius of its base. This engineering assurance guarantees that the tower poses no risk to adjacent properties or rights-of-way, even though its placement does not strictly meet the standard separation distance.
- Due to the unique shape of the parent parcel, approximately 325 feet wide along the southern boundary but narrowing to 90 feet at the northern boundary, the proposed tower location in the northern part of the site has been chosen to balance engineering and planning considerations. Positioning the tower here places it as close to the center of the designated search ring as possible, while also maximizing the distance from the nearest existing residential development along Red Bud Lane.
- The Future Land Use map designates the property for commercial development. Placing the tower within the northern part of the site aligns with this planned land use. By matching the facility with the FLUM, the proposal supports long-term planning goals and ensures the infrastructure investment complies with the City's adopted growth policies.
- Locating the tower in the northern part of the property also preserves the wider southern part of the parcel for future mixed-use or commercial redevelopment, as envisioned by the City's land use plan. This approach offers the greatest flexibility for site planning, circulation, and future development integration.

18) To minimize their proliferation, all reasonable efforts should be made to co-locate facilities on existing or new antenna support structures;

- Response: The City's Code prioritizes co-location as a means to reduce the need for new towers. In this case, AT&T has already co-located on the only existing tower nearby, meeting this requirement's goal. Due to increased network performance demands, AT&T now requires a dedicated site to serve the area reliably. There are no other towers or tall structures within the search area or within two miles of the current facility that could fulfill these needs. Therefore, this application should be viewed not as a refusal to co-locate but as a natural next step in network expansion. By first using the existing tower and now proposing a new facility, the provider has upheld the City's policy of minimizing unnecessary towers while ensuring residents and businesses continue to receive reliable wireless service.

19) An antenna may be placed wholly within any building legally permitted in a commercial, industrial, or health facilities district or in any publicly-owned building.

- Response: This subsection does not apply to this CUP request.

20) An antenna may be mounted flush to the exterior of buildings in a commercial, industrial, or health facilities zoned district if painted and integrated into the overall architectural design. An antenna may be attached to any utility structures (such as a water tower or electrical transmission tower) or public building not located in a street right-of-way, if the property is owned by a government or public agency;

- Response: This subsection does not apply to this CUP request.

(21) In the Main Street District, no antenna may extend above the building on which it is mounted unless it is made to appear as a part of the building and integrated into the overall architectural design;

- Response: This subsection does not apply to this CUP request.

(22) Except in the Main Street District, a roof-mounted non-whip antenna may extend ten feet above the building, provided that the antenna and supporting equipment is fully screened from view at street level;

- Response: This subsection is not applicable to this CUP request.

(23) Except in the Main Street District, a whip antenna may be mounted on the roof of a nonresidential building or structure, provided it does not exceed the height of the building by more than ten feet and it is located no closer to the perimeter of the building than its height above the roof;

- Response: This subsection does not apply to this CUP request.

(24) Antenna support structures and antennas of more than ten feet in height are prohibited within residentially zoned districts. The structures are allowed by right within the I-1 and I-2 Zoning Districts;

- Response: The subject property is zoned A-1 Agriculture, which the City considers part of the residential zoning category. Therefore, antenna support structures and antennas over 10 feet tall are not allowed by right in this district. The use is also not permitted in I-1 or I-2 zones, where such structures are allowed by right.
- In line with City guidance, the appropriate process is to obtain a Conditional Use Permit (CUP). As confirmed by Paul Cottrell, Community Development Director (email dated August 4, 2025), "The owner of the property would need to apply for a Conditional Use Permit."
- Please see Exhibit L, Email from City RE CUP.
- This application is submitted following that guidance and shows compliance with all relevant CUP findings and technical standards, including EIA/TIA-222 structural requirements, Building Code compliance, and siting measures to reduce visual and neighborhood impacts.

(25) Satellite and microwave dishes attached to antenna support structures shall not exceed four feet in diameter or six feet in diameter if attached to a lattice tower; or

- Response: CitySwitch acknowledges this requirement and will comply with the code requirement.

(26) All transmitting antennas, microwave dishes, and related equipment shall transmit with low wattage transmitters not to exceed 500 watts per channel.

- Response: The proposed wireless communication facility will fully adhere to the City's requirement that all transmitting antennas, microwave dishes, and related equipment use low-

wattage transmitters that do not exceed 500 watts per channel. Modern wireless systems, including those used by AT&T, operate well below this limit, with individual radios typically transmitting at much lower power levels—often between 20 and 40 watts per channel for cellular antennas, and 1 to 10 watts per channel for microwave backhaul dishes.

- This design ensures that the facility not only complies with the ordinance but also minimizes any potential off-site impacts. The purpose of the regulation to permit low-power telecommunications facilities while preventing high-power broadcast operations is fully achieved by the proposed tower.

(Prior Code, § 154.08) (Ord. 1298, passed 1-11-2000) Penalty, see § 10.99

§ 153.09 SITE PLAN REVIEW.

An antenna support structure or antenna shall not be constructed or used within the city without all approvals and permits first having been secured. The Building Official shall approve or reject the site plan within 30 days of the zoning application being approved by the City Council. If applicable, or of the date of submittal of the site plan by applicant, whichever last occurs. In the event the site plan as originally submitted is incomplete, the 30-day review period does not commence until the Building Official determines the site plan, as amended, to be administratively complete.

- Response: The applicant understands and affirms that no antenna support structure or antenna will be constructed or used within the City until all required approvals and permits are obtained. The applicant will cooperate with the Building Official, Planning Commission, and City Council to ensure a complete submittal, and recognizes that the 30-day review process begins once the site plan is deemed administratively complete. This commitment reflects the applicant's intent to fully comply with both the spirit and the letter of the City's permitting requirements.

(Prior Code, § 154.09) (Ord. 1298, passed 1-11-2000)

§ 153.10 ANTENNA SUPPORT STRUCTURES AND ANTENNA MOUNTED ON EXISTING STRUCTURES.

- Response: This section does not apply to this CUP request.

(A) Building-mounted antennas of the non-whip type are allowed on nonresidential buildings and structures, provided the antenna is mounted flush with the exterior of the building so that it projects no more than 30 inches from the surface of the building to which it is attached and the antenna's appearance is such as to blend with the surrounding surface of the building.

(B) Associated equipment shall be placed either within the same building or in a separate building which matches the existing building in character and building materials or blends with the landscaping and other surroundings immediately adjacent to the separate building housing the equipment. Associated equipment for roof-mounted antennas may be located on the roof of the building if it is not visible from the street.

(C) Before the Building Official may issue a building permit and at the time of application for a building permit to locate an antenna support structure or antenna on an existing building or other structure, the Building Official shall be provided with color photo simulations showing the site of the existing structure with a photo-realistic representation of both the proposed support structure and the existing structure or any proposed reconstruction of the structure as it would appear viewed from the closest residential property or from a distance of one-fourth mile in the direction of the nearest residentially zoned property,

whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site without the proposed construction.

(D) Before the Building Official may issue a building permit and at the time of application for a building permit to locate an antenna support structure or antenna on an existing building or other structure, the Building Official shall be provided with an engineer certification that the roof and/or other support structure will support the proposed antenna and all associated equipment.

(Prior Code, § 154.10) (Ord. 1298, passed 1-11-2000)

Exhibit H

FAA Determination & FCC Antenna Structure Registration

Exhibit I

Search Ring

When planning a new wireless tower, engineers start by identifying an area known as a search ring. A search ring is not merely a suggestion; it is a scientifically modeled target zone where a new tower must be positioned to ensure reliable wireless coverage for a specific area in the network. The goal could be to improve coverage, capacity, and/or other network improvement objectives. This is especially critical as networks transition to 5G and beyond, where signal strength is more sensitive to location, interference, and obstructions.

A search ring is:

- Based on RF (radio frequency) engineering that accounts for:
 - Distance from existing antennas on other towers and base stations
 - Terrain and topography
 - Building density and tree cover
 - Spectrum used (800 MHz low-band, 1900 MHz mid-band, or 2400+ MHz high-band)
- A radius of 1/4 to 1/2 mile is a common standard for macro cell sites; however, this can vary by service provider and may be smaller or larger depending on the natural environment, licensed spectrum, and network improvement objectives.

Within the search ring, multiple candidate properties are evaluated, and land use factors are weighed, including but not limited to:

- Zoning compatibility
- Distance from residential dwelling units
- Visibility and aesthetic mitigation
- Vehicular access and public utilities
- Environmental factors like flood zones and wetlands

For this application, the provider's network engineer defined a 981-foot search ring (see Attachment). CitySwitch, the site acquisition team, and the service provider's network engineer evaluated multiple options within the search ring to identify the most suitable site and a property owner willing to sublease land for the proposed tower, which ultimately led to the location of the proposed tower.

On the attached map, the search ring's center is marked by the yellow push-pin icon, and the red circle indicates the 981-foot radius around it. The green circle with the white tower shows the proposed tower's location within the search ring.

Exhibit J

Propagation Maps

Radio Frequency (RF) Propagation Maps

Propagation coverage maps are visual representations of wireless signal strength and coverage from the proposed antennas and radios on the tower. Network engineers create these maps using specialized software to simulate how signals will travel from the site based on features such as:

- Antenna mounting height and antenna type
- Terrain and elevation variations
- Vegetation, buildings, and obstructions
- Frequency band and transmission power

The maps display before-and-after coverage, demonstrating how the new facility will:

- Fill coverage gaps
- Improve signal strength and reliability
- Support future technologies like 5G/6G
- And improve access to public safety and emergency communications by cell phone

Different colors on the map indicate signal quality as explained in the table below:

Map Colors	RF Coverage	User Experience
Blues	Strongest signal (close to the transmitter, usually better than -65 dBm to -76 dBm range), effectively unusable.	Excellent voice/data coverage
Yellow and Green	Weak but potentially usable signal (-86 dBm to -96 dBm).	Reliable outdoor coverage, but indoor penetration may vary
Orange and Red	No coverage or extremely weak signal (below -106 dBm).	Coverage gaps or fringe areas, where devices may drop connections.

Exhibit K

Photo Simulations

Visual Analysis – Photo Simulations

To assist local officials and community members in evaluating the potential visual impact of the proposed wireless facility, this application includes a series of photo simulations showing the site before and after construction.

These visual simulations are produced by combining real photographs taken from key public viewpoints with accurately scaled renderings of the proposed tower and equipment. Each simulation reflects:

- The tower height and design
- The view from residential properties
- A realistic preview of the tower’s visibility and design

The City’s Code, § 153.08(B)(12) requires, “the applicant shall submit color photo simulations showing the proposed site with a photo-realistic representation of the proposed structure as it would appear viewed from the closest residential property or from one-fourth mile in the direction of the nearest residentially zoned property, whichever distance is less. The applicant shall also submit photographs of the same views showing the current appearance of the site, without the proposed antenna support structure and antenna”

Exhibit K, Page 1: Is a map showing a one-quarter mile radius around the proposed tower.

Exhibit K, Page 2: Is a map displaying the current zoning and the direction of the viewsheds for each photo simulation.

Exhibit K, Page 3: Is a view of the existing and proposed tower from the vicinity of Red Bud Land and N1st Avenue.

Exhibit K, Page 4: Is a view of the existing and proposed tower from the vicinity of US HWY 75.

Exhibit L

Email From City RE CUP

Exhibit M

Structural Engineer Letter

Structural Analysis

A structural analysis is a certified engineering evaluation that ensures the proposed tower is designed to safely support all anticipated antenna and equipment loads under expected environmental conditions. The tower will be conducted in accordance with TIA-222-H standards (as amended), the nationally recognized code for wireless communication structures.

This report confirms:

- The tower's ability to withstand wind, ice, and seismic loads
- The maximum allowable loading for antennas, mounts, cables, and appurtenances
- That all structural elements—foundation, base plates, guy wires (if applicable), and welds—meet safety factors and design tolerances

The structural analysis is prepared and sealed by a licensed professional engineer and is required to demonstrate that the tower will operate safely for its intended use and lifespan.

§ 153.08 (B)(17) states, "No commercial antenna support structure shall be located closer than 200 feet to the boundary line of any property zoned or used for any residential purpose. All antenna support structures shall observe a minimum setback from any abutting street right-of-way equal to the combined height of the support structure and attached antennas. **An exception maybe granted by the Building Official or the City Council where engineering documents indicate that the tower design will assure that a collapsing tower will fall within a smaller area. Under no circumstances, however, may a freestanding antenna support structure be located closer than 50 feet from the abutting street right-of-way.**" [emphasis added by Applicant]

Attached is a letter from a Professional Engineer, licensed in the State of Oklahoma, stating the proposed tower is designed to have "a fall radius of 50 feet or less at ground level".

Following the letter is the structural analysis for the proposed tower.

Exhibit N

Radio Frequency Emission Compliance

Exhibit O

Certification of Future Co-locations at Market Value



August 29, 2025

The owner of the antenna support structure must certify to the city that the antenna is available for use by another broadcast/ reception service on a reasonable and nondiscriminatory basis at a cost not exceeding the market value for the use of the facilities, provided space is available at the time of the request

Sincerely,

A handwritten signature in black ink that reads "Val Gosnell". The signature is written in a cursive style with a large, looped "V" and "G".

Valerie Gosnell, Program Manager
404-915-6976