

The City of Durant encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged in order to make the necessary accommodations. The City of Durant may waive the 48-hour rule if interpreters for the deaf (signing) or translation services for limited English proficient (LEP) individuals are not the necessary accommodation.

DURANT PLANNING COMMISSION

5:30 PM

**Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma
AGENDA**

November 1, 2022

CALL TO ORDER

INVOCATION/FLAG SALUTE

ROLL CALL

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

- a. Consider Approval of Regular Meeting Minutes of October 4, 2022
- b. Discussion, Consideration and Possible Action on the 2023 Planning Commission Regular Meeting Calendar

2. Consider Items Removed from Consent

3. Information Items

4. Administration

5. Public Hearings

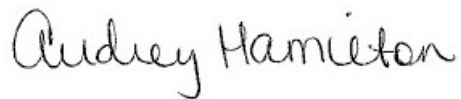
- a. Discussion, Consideration and Possible Action on PC2022-23, a Final Plat Request for property located near South 9th Avenue and Rodeo Road.
- b. Discussion, Consideration and Possible Action on PC2022-28, a Rezoning Request from A-1, General Agriculture to R-1, Single-Family Residential and a Planned Unit Development for property located near Cemetery Road and Rodeo Road.

6. New Business

ADJOURNMENT

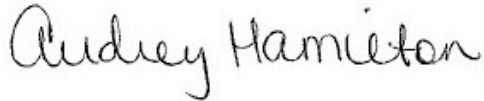
CERTIFICATE

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 8th day of December, 2021 and that an agenda of said meeting was posted at the place of such meeting at 09:00 a.m. on the 28th day of October, 2022.



Audrey Hamilton, City of Durant

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 8th day of December, 2021 and that an agenda of said meeting was posted at the place of such meeting at 9:00 a.m. on the 30th day of September, 2022.



Audrey Hamilton, City of Durant

MINUTES OF THE MEETING OF DURANT PLANNING COMMISSION
October 4, 2022 AT 5:30 PM, Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma

CALL TO ORDER

Chairman Jackson called the meeting to order at 5:31 p.m.

INVOCATION/FLAG SALUTE

Commission Member Newsom provided the invocation. Vice Chairman Knight led the flag salute.

ROLL CALL

Present:

Planning Commission Chairman Drew Jackson

Planning Commission Vice Chairman Shane Knight

Planning Commissioner Clent Horner (appeared at 5:58 p.m. and left at 6:15 p.m.)

Planning Commissioner Thomas Newsom

Absent:

Planning Commissioner Whitney Kerr

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

a. Consider Approval of Regular Meeting Minutes of September 6, 2022

Motion was made by Vice Chairman Knight and seconded by Commission Member Newsom to approve the minutes as presented.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Newsom

Nays: None

Abstain: None

2. Consider Items Removed from Consent

3. Information Items

4. Administration

5. Public Hearings

- a. Discussion, Consideration and Possible Action on PC2022-23, a Final Plat Request for property located near South 9th Avenue and Rodeo Road.

Danielle O'Neal stated that the applicant contacted her and asked that the item be tabled due to title and abstract issue that arose late last week.

Motion was made by Commission Member Newsom and seconded by Vice Chairman Knight to table the request as presented.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Newsom

Nays: None

Abstain: None

- b. Discussion, Consideration and Possible Action on PC2022-24, a Rezoning Request from A-1, General Agriculture to C-2, Highway Commercial and Commercial Recreation for property located near Southeast 3rd Avenue and Rodeo Road.

Danielle O'Neal reviewed with the Planning Commission members a request from DH Modern Construction, LLP, for a Rezoning from the A-1, General Agriculture District to the C-2, Highway Commercial and Commercial Recreation District for property located near Southeast 3rd Avenue and Rodeo Road. The applicant approached staff regarding the rezoning and platting of this property with the desire of building commercial and residential development. Staff published the zoning cases separate from the platting cases in hopes of lessening any confusion. The commercial piece of the development is expected to be a total of approximately 6 acres that will service the residents in that area. The residential piece of the development is expected to be a total of approximately 5 acres and expected to be single-family residential. The remaining approximately 7 acres is expected to remain as agriculture and a buffer to the existing area. The commercial area is expected to be directly on the corner of Southeast 3rd

Avenue and Rodeo Road. The residential piece will abut the commercial piece and will face Rodeo Road. The aforementioned property is approximately 18 acres total, the plat shows three 2-acre lots that are designated as commercial, five 1-acre lots designated as single-family residential and approximately 7 acres remaining as agriculture. The lot is currently vacant. The area is made up of mostly Agriculture Zoned property. The subject property does meet the requirements for each of the requested zoning types. There does appear to be City water and sewer in the area. The current Future Land Use Map has this area as commercial uses; therefore, this rezoning request is generally in line with the Future Land Use Map. Notifications have been made to the surrounding property owners and at the time of this report staff has not received any phone calls or letters of support or protest regarding this rezoning request.

Danny Khoury, applicant, spoke in favor of this item.

Heather Dobbins spoke in opposition of this item.

(Commission Member Horner appeared at 5:58 p.m. and left at 6:15 p.m.)

Motion was made by Vice Chairman Knight and seconded by Commission Member Newsom to approve the request as presented.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Newsom

Nays: None

Abstain: None

- c. Discussion, Consideration and Possible Action on PC2022-24, a Rezoning Request from A-1, General Agriculture to R-1, Single-Family Residential for property located near Southeast 3rd Avenue and Rodeo Road.

Danielle O'Neal reviewed with the Planning Commission members a request from DH Modern Construction, LLP, for a Rezoning from the A-1, General Agriculture District to the R-1, Single-Family Residential District for property located near Southeast 3rd Avenue and Rodeo Road. The applicant approached staff regarding the rezoning and platting of this property with the desire of building commercial and residential development. Staff published the zoning cases separate from the platting cases in hopes of lessening any confusion. The commercial piece of the development is expected to be a total of approximately 6 acres that will service the residents in that area. The residential piece of the development is expected to be a total of approximately 5 acres and expected to be single-family residential. The remaining approximately 7 acres is expected to remain as agriculture and a buffer to the existing area. The commercial area is expected to be directly on the corner of Southeast 3rd Avenue and Rodeo Road. The residential piece will abut the commercial piece and will face Rodeo Road. The aforementioned property is approximately 18 acres total, the plat shows three 2-acre lots that are designated as commercial, five 1-acre lots

designated as single-family residential and approximately 7 acres remaining as agriculture. The lot is currently vacant. The area is made up of mostly Agriculture Zoned property. The subject property does meet the requirements for each of the requested zoning types. There does appear to be City water and sewer in the area. The current Future Land Use Map has this area as commercial uses; therefore, this rezoning request is generally not in line with the Future Land Use Map. Notifications have been made to the surrounding property owners and at the time of this report staff has not received any phone calls or letters of support or protest regarding this rezoning request.

Motion was made by Vice Chairman Knight and seconded by Commission Member Newsom to approve the request as presented.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Newsom

Nays: None

Abstain: None

- d. Discussion, Consideration and Possible Action on PC-2022-24, a Final Plat Request for property located near Southeast 3rd Avenue and Rodeo Road.

Danielle O'Neal reviewed with the Planning Commission members a request from DH Modern Construction, LLP, for a Final Plat for property located near Southeast 3rd Avenue and Rodeo Road. The applicant approached staff regarding the rezoning and platting of this property with the desire of building commercial and residential development. Staff published the zoning cases separate from the platting cases in hopes of lessening any confusion. The final plat shows nine total lots. Three lots are 2-acre lots and are expected to be commercial lots. Five lots are 1-acre lots and expected to be single-family residential lots. The remaining approximate 7-acre lot is expected to remain as an agricultural zoned lot and be a buffer. The subject property is approximately a total of 18 acres. The applicant has nine lots on the plat. The plat and application does indicate which lots will be commercial, residential and agricultural. There is City water and sewer nearby, and the applicants will work with City Staff for any connections that will be needed. The lots will not need any public infrastructure, which is why this is being heard as a final plat. Staff has signed off supporting the approval of this plat. The current Land Use Map has this area as commercial uses; therefore, this request is partially in line with the Future Land Use Map. Notifications have been made to the surrounding property owners and at the time of this report staff has not received any phone calls or letters of support or protest regarding this rezoning request.

Motion was made by Commission Member Newsom and seconded by Vice Chairman Knight to approve the request as presented.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Newsom

Nays: None

Abstain: None

6. New Business

There was no new business.

ADJOURNMENT

Vice Chairman Knight moved to adjourn the meeting.

Motion Passed with the following vote:

Ayes: Jackson, Knight, Horner, Kerr, Newsom

Nays: None

Abstain: None

Schedule of Regular Meetings for Durant Planning Commission Calendar Year 2023

<u>Date</u>			<u>Time</u>	<u>Location</u>
January	03	2023	5:30	Roscoe J. Hatfield Council Chambers
February	07	2023	5:30	Roscoe J. Hatfield Council Chambers
March	07	2023	5:30	Roscoe J. Hatfield Council Chambers
April	04	2023	5:30	Roscoe J. Hatfield Council Chambers
May	02	2023	5:30	Roscoe J. Hatfield Council Chambers
June	06	2023	5:30	Roscoe J. Hatfield Council Chambers
July	04	2023	5:30	Roscoe J. Hatfield Council Chambers
August	01	2023	5:30	Roscoe J. Hatfield Council Chambers
September	05	2023	5:30	Roscoe J. Hatfield Council Chambers
October	03	2023	5:30	Roscoe J. Hatfield Council Chambers
November	07	2023	5:30	Roscoe J. Hatfield Council Chambers
December	05	2023	5:30	Roscoe J. Hatfield Council Chambers

Filed By:

Audrey Hamilton, Planning Commission Secretary
Durant City Hall
PO Box 578
Durant, OK 74702-0578

Filed in the office of the Durant City Clerk
on _____, 2022.

Cynthia Price, City Clerk



The City of Durant

Memorandum

Date: 11/1/2022
To: Mayor and City Council
From:
Re: Information Items

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



The City of Durant

Memorandum

Date: 11/1/2022
To: Mayor and City Council
From:
Re: Administration

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

ATTACHMENTS:



THE CITY OF DURANT

Office of Community Development

Date: 11/01/2022
To: Planning Commission
Case: PC 2022-23
From: Danielle O'Neal, Community Development Director
Re: Final Plat Request for property located near South 9th and Rodeo Rd.

Request: Consider a request from Sunstar, LLC, for a Final Plat for property located near South 9th and Rodeo Road.

Current Zoning: R-1, Single-Family Residential

Surrounding Properties:

Direction	Zoning	Use
North	A-1	Vacant Property / Railroad
East	A-1	Large Single Family Lots / Vacant Property
South	R-1 / A-1	Single Family Homes
West	A-1	Railroad

Applicant: Sunstar, LLC

Background: Applicants approached staff regarding filing for a final plat for a housing development that contains approximately 80 lots. The applicant stated that this development would be made up of single-family homes with their own driveways.

Notifications have been made to the surrounding property owners and at the time of this report, staff has not received any letters or phone calls of support or protest regarding this request.

Analysis: The subject property is approximately 24 acres in total, with 80 lots being shown on the final plat. Each of the lots do meet the requirements for the zoning district. The preliminary plat originally showed 85 lots; however, five lots were removed for drainage and because of the sewer line that runs through the property. The applicant stated they are intending each lot will have a single family home with a driveway. The final plat does have covenants listed on the plat. Staff has reviewed this plat and signed off indicating that they have no issues with this plat.

The current Future Land Use Map has this area as Low-Density Residential; therefore, this request is generally in line with the Future Land Use Map.

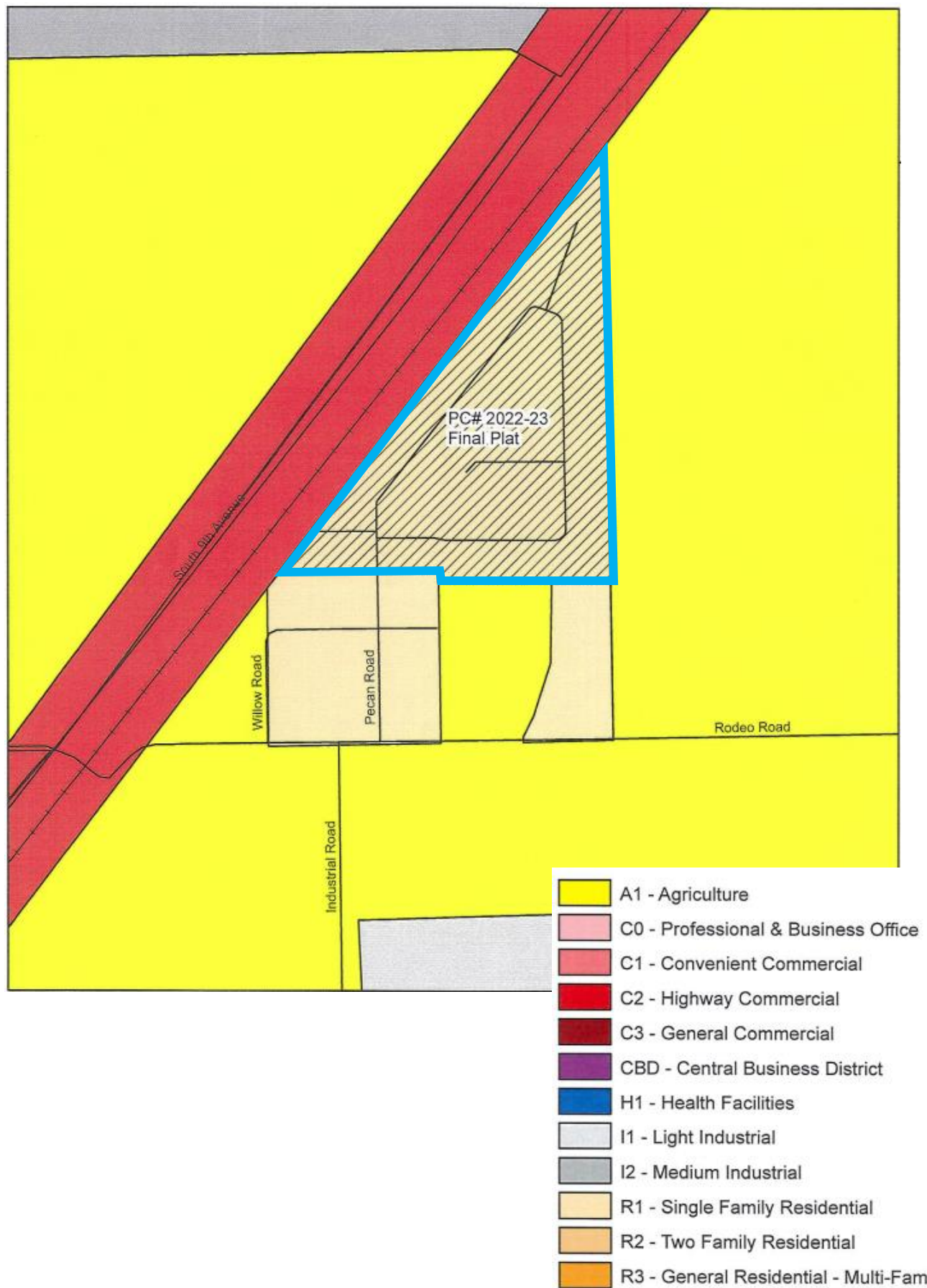
Staff Recommendation: Staff has signed off supporting the approval of the final plat.

Required Action: Hold a public hearing and recommend approval or denial of the Final Plat request for property located near South 9th and Rodeo Rd. Any specific conditions imposed by the Commission should be read into any approval motion.

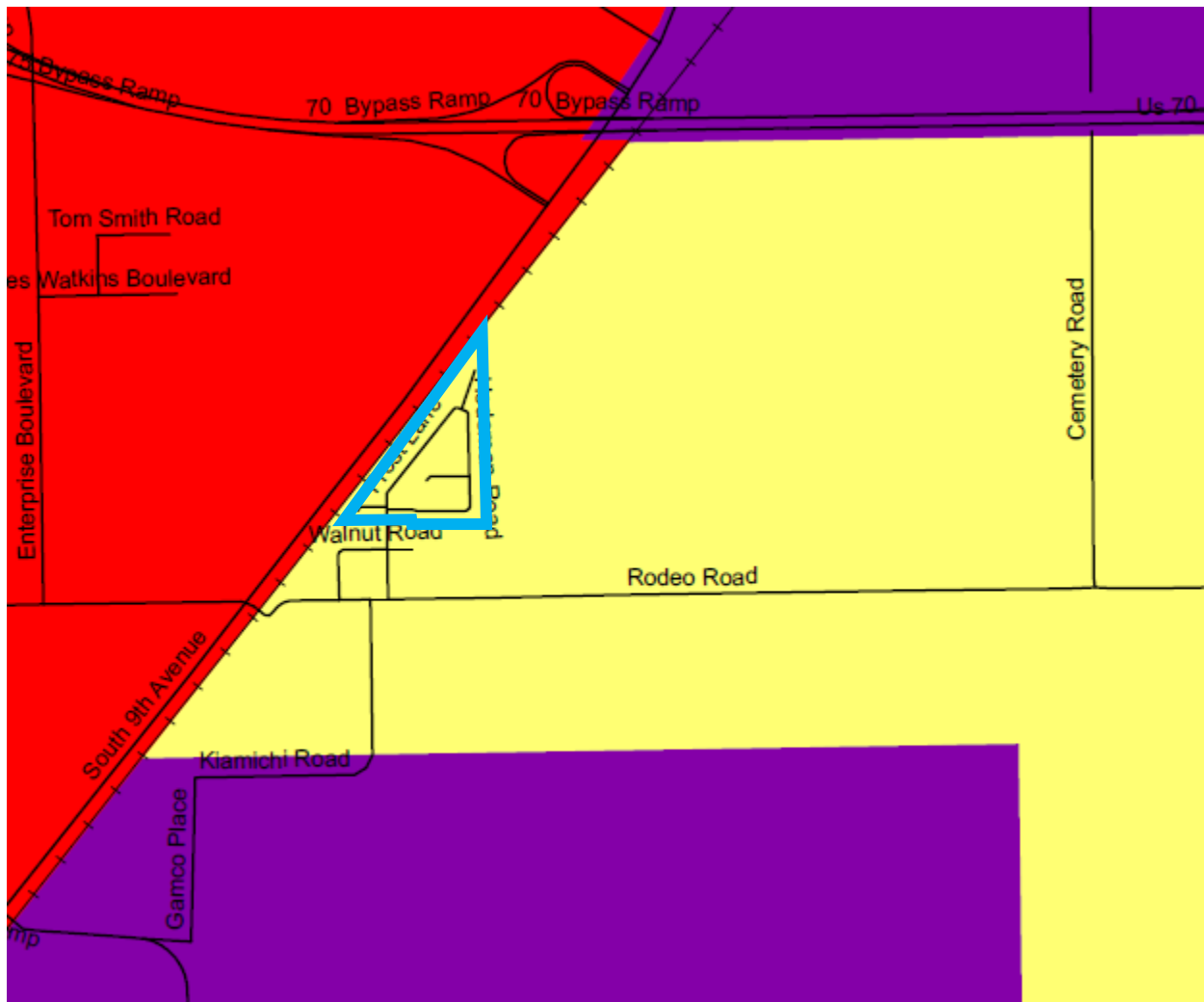
Aerial Map



Zoning Map

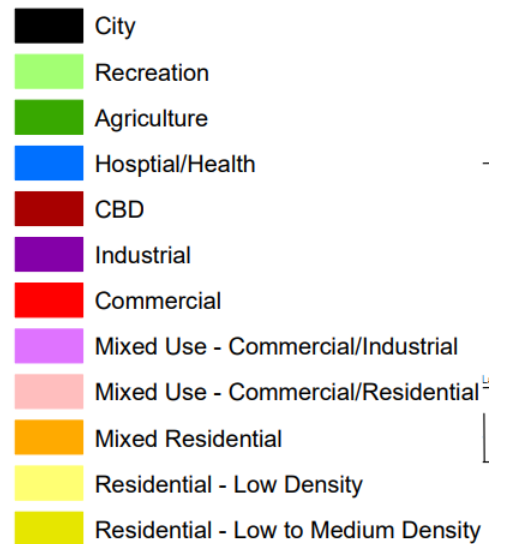


Future Land Use Map



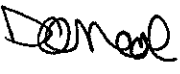
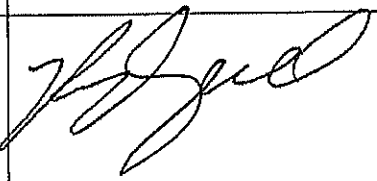
Location is approximate

Future Land Use



COMMUNITY DEVELOPMENT PLAT SIGN OFF SHEET

Rodeo Hills PC2022-23 Rodeo Rd

Department	Signature	Date	Notes
Com Dev Director Danielle O'Neal		9/22/22	need corrected signature blocks need names of record property owners of adjoining parcels of unplatted land.
M&O Randy Cantrell		09-07-2022	* 9/26/22 all items above taken care of
Streets Carl Meade		9-7-22	
Public Works Director Phillip Hightower		9-7-22	
Fire Marshal Jonathan Strahorn		9-7-2022	
Building Official Shawn Jackson Mark Pierce		9-7-2022	
Engineer Brandon Wall	per email see attached	9-8-22	



Danielle O'Neal <doneal@durant.org>

Potential Plats for October Planning Commission

brandon@wallengineering.com <brandon@wallengineering.com>
To: Danielle O'Neal <doneal@durant.org>

Thu, Sep 8, 2022 at 8:49 AM

Danielle,

Per our discussion we are good with Rodeo Hills and Bronco Acres.

Thanks,

Brandon Wall, P.E., President

Wall Engineering, LLC

PO Box 1457, Durant, OK 74702 (mailing)

223 N Washington, Durant, OK 74701 (physical)

(c) 580.931.7998

[Quoted text hidden]

Subdivision/Plat Application

Sketch Plat: ☐
 Preliminary Plat: ☐
 Final Plat: ☒
 Re-Plat: ☐

Petition # _____
 Fee \$ _____
 Expedited Fee \$ _____

APPLICANT INFORMATION

Name: <u>Sunstar, LLC</u>	Email: <u>Idaly@sunviewhomes.com</u>	Phone #1 <u>580-564-2680</u>
Mailing Address: <u>P.O. Box 1766</u>		Phone #2 _____
City: <u>Kingston</u> State: <u>OK</u> Zip: <u>73439</u>		Fax # <u>580-498-0099</u>
Applicant's Interest in Property: <u>Owner</u>		

SURVEYOR INFORMATION

Name: <u>Chad Fox</u>	Email: <u>Chad@cdfassociates.com</u>	Phone #1 <u>918-649-3303</u>
Mailing Address: <u>208 Dewey Ave</u>		Phone #2 _____
City: <u>Poteau</u> State: <u>OK</u> Zip: <u>74953</u>		Fax # <u>918-894-6730</u>
Surveyor Oklahoma License Number: <u>1758</u>		

ENGINEER INFORMATION

Name: <u>Ashley Bice</u>	Email: <u>ashley@biceconsulting.us</u>	Phone #1 <u>501-593-1298</u>
Mailing Address: <u>PO Box 26634</u>		Phone #2 _____
City: <u>Little Rock</u> State: <u>AR</u> Zip: <u>72221</u>		Fax # _____
Engineer Oklahoma License Number: <u>31018</u>		

LAND INFORMATION

Legal Description: <u>See attached</u>	Parcel Number: _____
Proposed Subdivision Name: <u>Rodeo Hills</u>	Current Zone: <u>R3</u>
Proposed Use: <u>Single family residential</u>	Proposed Zone: _____
Current Property Owner's Name: <u>Sunstar, LLC</u>	

The applicant has prepared this application and supporting documentation and certifies that the facts stated herein and exhibits attached hereto are true and correct.

Applicant: [Signature] Date: 7-27-22

Office Use Only

Date Filed	Date Payment Received	Notification Mailed	Comments
Initial	Initial	Date Initial	
Proof of Publication Received	Property Posting Verified	Comprehensive Plan Recommendations	
Date Initial	Date Initial		

Staff Recommendation ___ Approve ___ Deny	PC Recommendation ___ Approve ___ Deny	City Council Action ___ Approve ___ Deny	Ordinance #
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APPLICATION WILL NOT BE CONSIDERED COMPLETE WITHOUT THE FOLLOWING INFORMATION ADDRESSED:

Please describe the nature and operating characteristics of the proposed use:

Fully designed single family addition.

STATE HOW THE FOLLOWING ISSUES WILL BE ADDRESSED:

1. Parking:

Each home will have a concrete approach and garage parking.

2. Screening of offensive areas (trash, loading areas, transformers, utility connections, detention ponds, etc.):

The decision of the design will keep the intensive areas to a minimum.

3. Traffic Impacts:

The streets will be designed to handle long term wear and tear, and the curb and gutter allows drainage to exit property.

4. Protection of Neighborhoods:

City limits of Durant gives homeowners the protection of the Durant PD.

What licenses and permits (if any) are required for this proposed use?

Surveyors, Abstractors, Engineers, Architects, DEQ, Plumber, Electricians, HVAC

Please list or describe any other reasons to support this application.

The location of the property and all utilities in close proximity.



EASEMENT

That, KAREN JACOB, having an address as, 2606 Rodco Rd Durant OK, hereinafter designated "Grantor" whether one or more, in consideration of Ten or more dollars (\$10.00 or more) in hand paid by Sunstep, LLC with principal offices at P.O. Box 1766 Kingston OK, hereinafter designated "Grantee" receipt and sufficiency of which are hereby acknowledged by said Grantor, does hereby grant and convey unto Grantee its successors and assigns, as easement for the purposes of roadway, utilities, and drainage in and across all of the following described land situated in **Bryan County**, State of Oklahoma, to-wit:

An easement for roads, utilities, and drainage in part of the Southwest Quarter of Section 7, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, being more particularly described as follows:

COMMENCING at the Southeast corner of the Southwest Quarter of Section 7;
thence NORTH 01°00'38" WEST 614.11 feet along the East line of the Southwest Quarter;
thence SOUTH 89°36'05" WEST 659.70 feet to the POINT OF BEGINNING;
thence SOUTH 89°36'05" WEST 40.00 feet to the East line of Lot I, Block 1 of Glenwood Subdivision;
thence SOUTH 00°57'53" EAST 211.34 feet along said East line;
thence NORTH 89°02'37" EAST 40.00 feet;
thence NORTH 00°57'55" WEST 210.95 feet to the POINT OF BEGINNING.

Together with the right, power, and privilege of constructing, maintaining, repairing, improving and using a roadway together with utilities and all necessary drainage, upon said easement for the sole purposes of access of said improvement to Grantee's property.

Grantee, its successors, assigns, servants, agents, employees, licensees, and invitees, shall have the full and free right and privilege to travel upon, pass and repass along, and use said road in any lawful manner, including the transportation of person, material, supplies, and commodities. It is understood, however, that any such road constructed and / or maintained under the terms of this easement shall become and remain the sole and private property of Grantor, subject to the rights, powers, privileges, and benefits granted herein. Grantee agrees to promptly repair any damage done to the roadway caused by Grantee's exercise of any rights granted herein.

Grantee agrees to hold Grantor harmless and indemnify Grantor against any claims, damages or loss resulting from usage of said easement by Grantee, his successors, assigns, agents, employees, Licensees, and invitees.

Grantor does hereby release Grantee of and from any and all claims, demands, liabilities and causes of action whatsoever for damage to lands, timber, crops, pasture, fences, ponds and all other property and improvements lying within said easement which may arise or result from the construction, use and / or maintenance of the roadway covered by this grant.

To have and to hold unto Grantee, its successors and assigns, the easement, rights, and privileges herein granted and conveyed.

The terms and provisions hereof shall constitute covenants running with the land shall be binding upon the heirs, executors, administrators, successors and assigns of Grantor and shall inure to the benefit of the successors and assigns of Grantee.

All rights and privileges herein granted and conveyed may be assigned in whole or part by Grantee without notice to Grantor.

EXECUTED this the 29th day of MARCH 2021

Grantor:

Karen Jacob

ACKNOWLEDGMENT

This instrument was acknowledged before me, a Notary Public on this day personally appeared Karen Jacob, well known to me to be the person(s) whose names are subscribed to the foregoing instrument and stated to me that they executed the same for the consideration and purposes therein mentioned and set forth.

In testimony whereof, I have hereunto set my hand and official seal this 29th day of March A.D., 2021.

Sabri N. Kerbo Notary Public

My commission expires: August 16, 2024



I-2021-731645 Book 1555 Pg: 543
03/30/2021 8:43 am Pg 0542-0543
Fee: \$ 20.00 Doc: \$ 0.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

That the undersigned, SUNSTAR, LLC hereby certify that it is the owner of, and the only person, firm or corporation having any right, title, or interest in and to the land shown on the Final Plat of **RODEO HILLS ADDITION**, an addition to the City of Durant, Bryan County, Oklahoma, and that the undersigned, SUNSTAR, LLC, is the owner of, and the only person, firm or corporation having any right, title, or interest in and to the land shown on the Final Plat of **RODEO HILLS ADDITION**, an addition to the City of Durant, Bryan County, Oklahoma. That the undersigned, SUNSTAR, LLC, is the owner of, and the only person, firm, or corporation who have any right, title or interest to the land included in the above mentioned Final Plat, and do hereby provide restrictive covenants listed in Book _____ Page _____ of the records in the Office of the County Clerk, Bryan County, Oklahoma, and it does hereby certify that the public easements and public utilities shown on the Final Plat of **RODEO HILLS ADDITION**, an addition to the City of Durant, Bryan County, Oklahoma, are for highways, streets, fire protection, utility and drainage easements for their heirs, executors, administrators, successors and assigns forever and have caused the same to be released from all encumbrances to be executed on this _____ day of _____, 2022.

- Signed this _____ Day, of _____, 2022.

Jason Mauck, Member

STATE OF OKLAHOMA
COUNTY OF BRYAN

voluntary act and deed of such partnership for the uses and purposes therein set forth. Given under my hand and seal the day and year last written above.

1000

I, Chad Fox, a Professional Land Surveyor in the State of Oklahoma, hereby certify that I have made a careful survey of the foregoing described property designated as the Final Plot of **RODEO HILLS ADDITION**, an addition to the City of Durant, Bryan County, Oklahoma, and that the foregoing plot represents said survey and that steel rods, as described on this plot, have been located or placed at all lot corners unless noted. This plot of survey is subject to the Oklahoma Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.

Chad Fox, PLS No. 1758
License Expires 31JAN24

STATE OF OKLAHOMA
COUNTY OF LEFLORE

for the uses and purposes therein set forth. Given under my hand and seal the day and year last written above.

The Oklahoma Department of Environmental Quality certifies that this plat is approved for the construction of a public sewage system and a public water system this _____ day of _____, 2022.

I, _____, do hereby certify that I am duly elected, qualified, and acting County Treasurer of Bryan County, State of Oklahoma, that the tax records of said county, show all taxes are paid for the year _____, and prior years on the land shown as the Final Plat of **RODEO HILLS ADDITION**, an addition to the City of Durant, Bryan County, Oklahoma, that the required statutory security has been deposited in the Office of the County Treasurer guaranteeing payment of the taxes for the current year.

be executed at Durant, Oklahoma, this _____ day of _____, 2022.

I, _____, Chairman of the Durant Planning Commission for the City of Durant, State of Oklahoma, hereby certify that the said commission duly approved the annexed plat of RODEO HILLS ADDITION on this _____ day of _____, 2022.

Pursuant to Durant subdivision regulations, this document was given approval by the Durant City Council at a meeting held on the _____ day of _____, 2022. All of the conditions for approval having been completed, this document is hereby accepted and this certificate executed under authority of such regulations.

This document, number _____, filed for record _____ day of _____, 2022, at _____ in Plat Book _____

Part of the Southwest Quarter of Section 7, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, being more particularly described as follows:

COMMENCING at the Southeast corner of the Southwest Quarter of Section 7; thence NORTH 01°10'38" WEST 614.11 feet along the East line of the Southwest Quarter to the POINT OF BEGINNING;

thence NORTH 01°00'38" WEST 1604.72 feet along said East line to the Southwest corner of the Southwest Quarter of Section 7;

thence SOUTH 38°35'20" WEST 2020.88 feet along said Right of Way to a 1/2 inch iron pin at the Northwest corner of Glenwood Subdivision to Bryan County, Oklahoma;

thence NORTH 89°02'37" EAST 628.48 feet along the North line of said Glenwood Subdivision to the Northeast corner thereof;

thence SOUTH 01°01'03" EAST 39.95 feet along the East line of Glenwood Subdivision;

thence NORTH 89°36'05" EAST 659.70 feet to the POINT OF BEGINNING.

AND

An easement for roads, utilities, and drainage in part of the Southwest Quarter of Section 7, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, being more particularly described as follows:

COMMENCING at the Southeast corner of the Southwest Quarter of Section 7; thence NORTH 01°00'38" WEST 614.11 feet along the East line of the Southwest Quarter to the POINT OF BEGINNING;

thence SOUTH 89°36'05" WEST 619.70 feet to the POINT OF BEGINNING;

thence SOUTH 89°36'05" WEST 40.00 feet to the East line of Lot 1, Block 2 of Glenwood Subdivision;

thence SOUTH 00°57'53" EAST 211.34 feet along said East line;

thence NORTH 89°02'37" EAST 40.00 feet;

thence SOUTH 89°02'37" WEST 619.70 feet to the POINT OF BEGINNING.

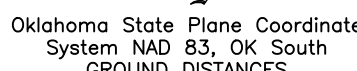
1. The sanitary sewer system will be designed by a licensed civil engineer and approved by the Oklahoma Department of Environmental Quality prior to construction.
2. The water system will be designed by a licensed civil engineer and approved by the Oklahoma Department of Environmental Quality prior to construction.
3. Electrical system will be designed by an REA licensed electrical engineer.

1. Streets will be designed by a licensed civil engineer and approved by the City of Durant prior to construction.

1. The storm water system will be designed by a licensed civil engineer. The capture, movement, detention and discharge will comply with local floodplain requirements.

Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.

Front yard 30 ft.
Rear yard 20 ft.
Side yard, interior 5 ft.
Side yard, exterior 15 ft.



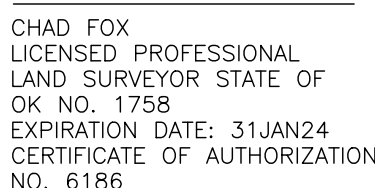
1. This survey was performed without the benefit of a current title policy. The record information herein is for reference purposes only. The results of research performed by this surveyor and is not necessarily complete or conclusive.
2. The surveyor disclaims any liability for a Title Search by this surveyor of the property shown and described hereon to determine:
 - a. Ownership of the tract of land.
 - b. Compatibility of this description with those of adjoining.
 - c. Rights of way, easements and encumbrances.
3. **BEARINGS** are based on the Oklahoma State Plane Coordinate System NAD 83, OK South Zone and are designated on a line as shown on this drawing as 012000.35' W and 012000.35' W **Quarter of Section 7, Township 7 South, Range 9 East, Bryan County, Oklahoma** which is considered to read 012000.35' W.
4. The word "certification" as used herein is understood to be an expression of professional opinion by the surveyor, based on his best knowledge, skill and honest belief. As such, it does not constitute a guarantee, nor a warranty, expressed or implied.
5. **Property** surveyed is not in published flood zone(s) of date of survey per flood map NO.40013C0310E of the Federal Emergency Management Agency, National Flood Insurance Program.
6. Selling a portion of this addition by metes and bounds is a violation of city ordinance and may result in a fine and/or imprisonment and withholding of utilities and building permits.



LINE	BEARING	DISTANCE
L1	S 89°02'37" W	4.86'
L2	N 51°24'46" W	50.00'
L3	N 38°35'14" E	10.67'
L4	N 38°35'14" E	9.81'
L5	N 76°11'56" W	42.00'
L6	N 50°51'18" W	49.52'
L7	N 71°53'50" W	16.14'
L8	N 71°53'50" W	50.62'
L9	S 71°53'50" E	84.66'
L10	N 71°53'50" W	50.19'
L11	N 51°24'46" W	38.73'
L12	N 88°59'22" E	38.73'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	27.13'	25.82'	S 57°57'09" W	62°10'55"
C2	50.00'	68.20'	63.03'	S 65°56'07" W	78°08'50"
C3	50.00'	20.58'	20.43'	N 63°12'07" W	23°34'41"
C4	50.00'	20.95'	20.80'	N 62°51'29" W	24°00'21"
C5	50.00'	67.82'	62.74'	N 66°16'45" E	77°43'10"
C6	25.00'	27.13'	25.82'	S 58°30'37" W	62°10'55"
C7	25.00'	18.69'	18.26'	N 40°12'18" E	42°50'00"
C8	50.00'	124.66'	118.51'	N 30°18'20" E	66°56'00"
C9	50.00'	122.52'	94.98'	N 11°11'12" W	40°24'08"
C10	50.00'	54.66'	51.09'	N 07°16'15" E	32°37'56"
C11	25.00'	18.69'	18.26'	N 02°37'42" W	42°50'00"
C12	25.00'	2.50'	2.50'	N 01°37'08" E	54°35'55"

REFERENCE 1—ORIGINAL SURVEY PLAT OF Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma.
REFERENCE 2—Book 1019, Page(s) 851–852 as recorded in Bryan County records.
REFERENCE 3—Book 1484, Page(s) 263 as recorded in Bryan County records.
REFERENCE 4—Book 1492, Page(s) 1147 as recorded in Bryan County records.
REFERENCE 5—Book 1515, Page(s) 608 as recorded in Bryan County records.

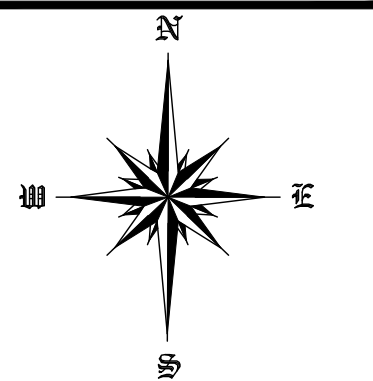


Legend

- FOUND REBAR
- ⊞ ELECTRIC TRANSFORMER
- ⊕ WATER METER
- FIRE HYDRANT
- ⊕ SEWER MANHOLE
- REBAR & CAP LS 1758

LOT LINE
 STATUTORY R.O.W.
 EXISTING ROAD
 ROAD DEDICATION
 UTILITY EASEMENT
 BUILDING SETBACK

0' 80' 160' 240'



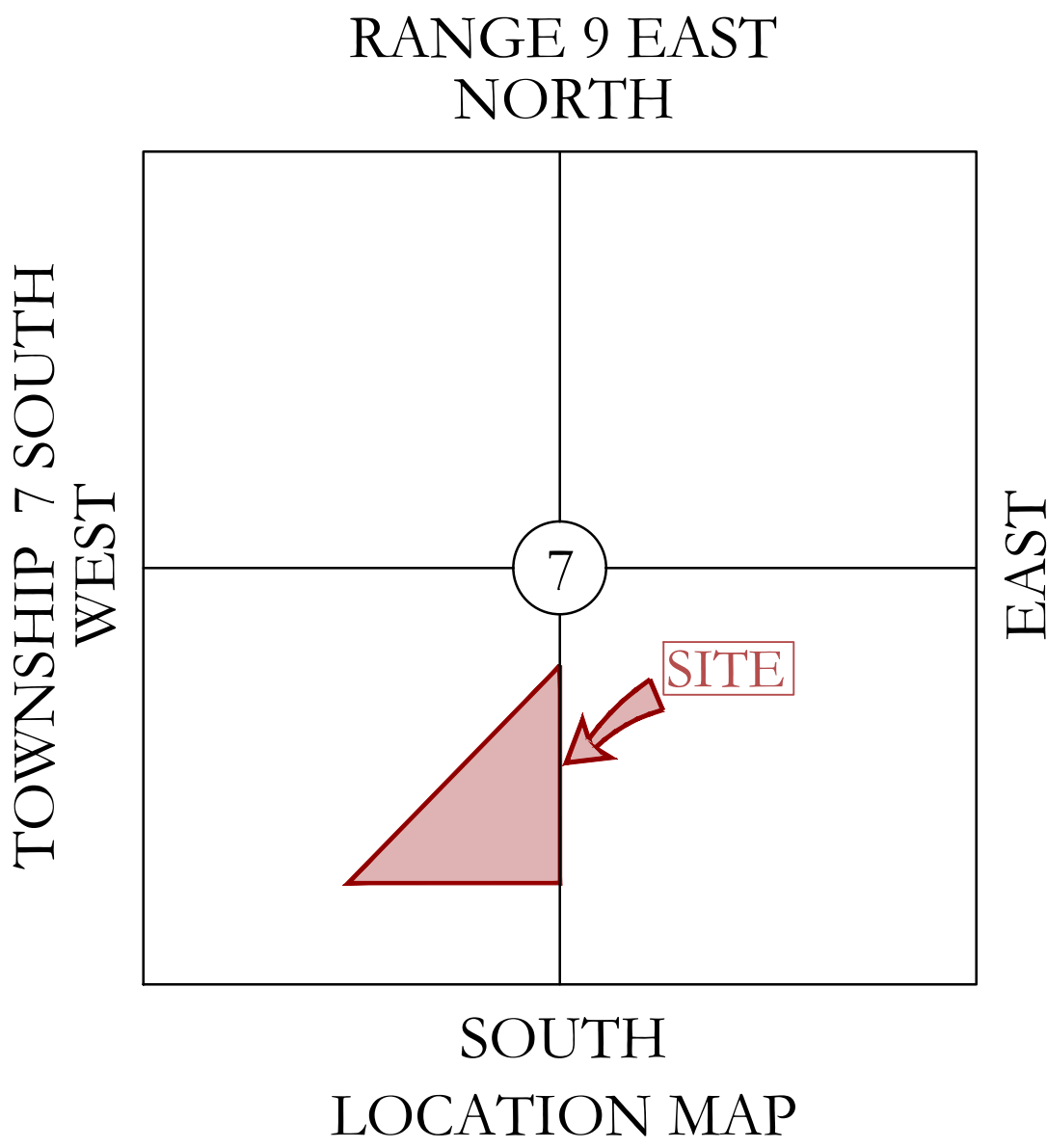
0000

OFFICE (918) 649-3303
Cell (918) 721-1262

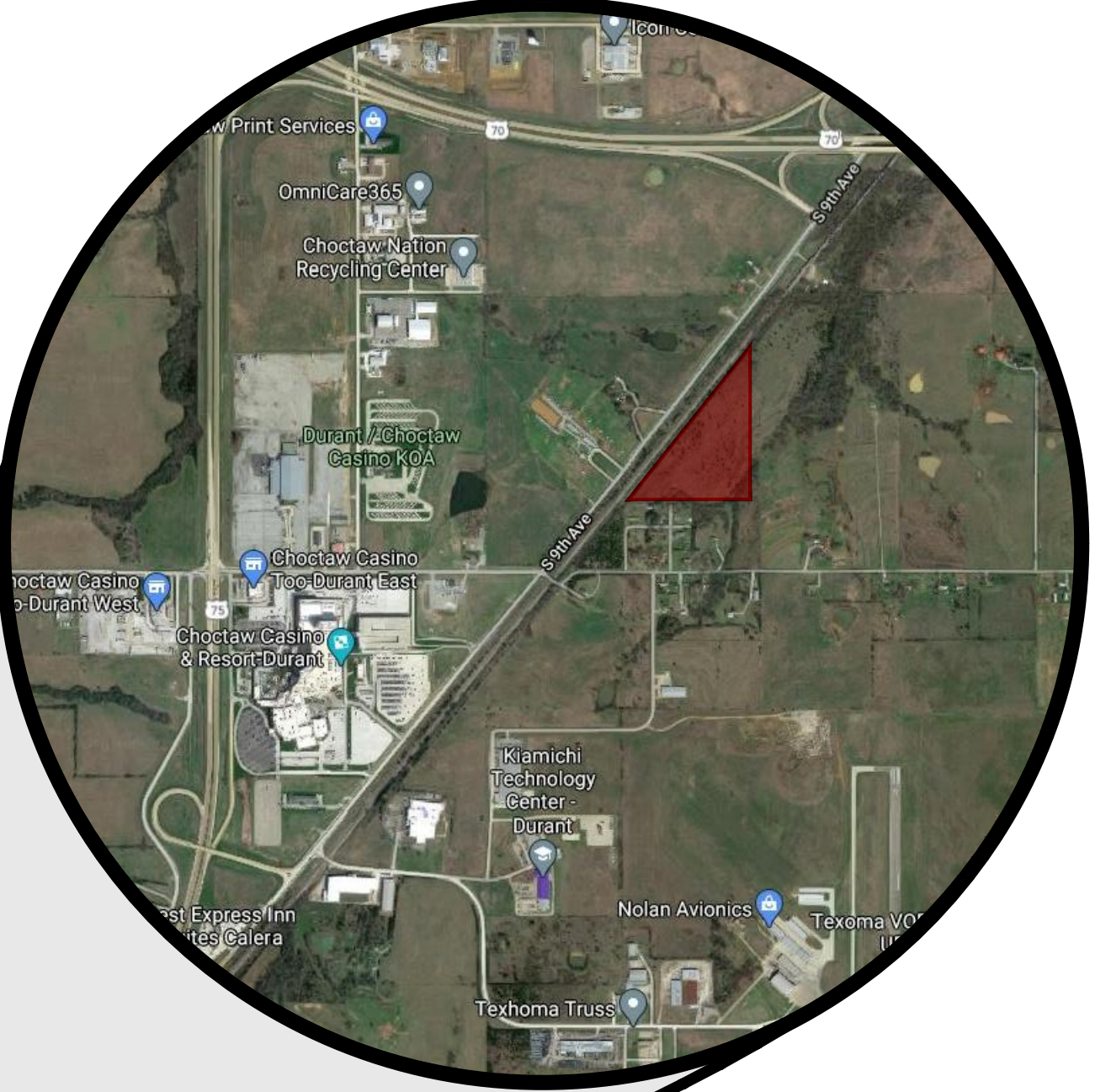
WATER AND SEWER AS-BUILT
CONSTRUCTION PLANS

FOR
RODEO HILLS
SUBDIVISION

CITY OF DURANT, OKLAHOMA



STATE MAP



VICINITY MAP

SHEET INDEX	
SHEET NO.	SHEET TITLE
C000	COVER
C100	SITE GRADING AND DRAINAGE PLAN
C101 - C104	ROAD PLAN AND PROFILE
C200	SITE SEWER PLAN
C201 - C205	SEWER PLAN AND PROFILE
C300	SITE WATER PLAN
C400	EROSION CONTROL PLAN
C500	SITE DETAILS
C501	UTILITY DETAILS
C600	DRAINAGE AREA MAP

PREPARED FOR:

SUNVIEW
DEVELOPMENT
Jay Mauck
721 US-70
Kingston, Oklahoma 73439

PREPARED BY:



ASHLEY RICE, PE
PO BOX 26634
LITTLE ROCK, AR 72221
ASHLEY@BICECONSULTING.US
(501)393-1298

SURVEY INFORMATION:
BOUNDARY & TOPOGRAPHIC
SURVEY INFORMATION PROVIDED
BY CDF ASSOCIATES, DATED
DECEMBER 16, 2020.

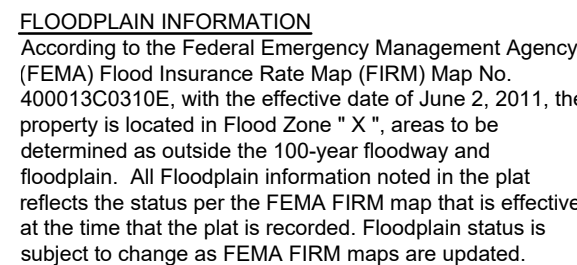
FLOODPLAIN INFORMATION
According to the Federal Emergency Management Agency
(FEMA) Flood Insurance Rate Map (FIRM) Map No.
400013C03101E, with the effective date of June 2, 2011, the
property is located in Flood Zone "X", areas to be
determined as outside the 100-year floodway and
floodplain. All Floodplain information noted in the plat
reflects the status per the FEMA FIRM map that is effective
at the time that the plat is recorded. Floodplain status is
subject to change as FEMA FIRM maps are updated.



AS-BUILT - 8.29.22

1. CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED FOR REMOVAL FROM DAMAGE.
2. ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, AND APPLICABLE REGULATORY AGENCIES.
3. SEE THE DETAILS SHEET FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAIL SHEET.
4. ALL UTILITIES SHALL TERMINATE 4' FROM THE BUILDING UNLESS OTHERWISE NOTED.
5. ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY.
6. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING MUST BE NOTIFIED 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING CITY UTILITIES.
7. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE WORK AS REQUIRED, PRIOR TO BEGINNING WORK.
8. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY.
9. REFER TO THE RECORD DRAWING REPORT FOR SUBSURFACE CONDITIONS.
10. ALL SEWER MAIN TO BE 8" SDR 26.
11. ALL SEWER SERVICES TO BE 4" P.V.C.

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGE TO EXISTING UTILITIES.
5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
6. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING ANY WORK.
8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 135 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE AREAS EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 15 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER CITY OF OKLAHOMA SPECIFICATIONS.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM AND CONSTRUCTION TO CONFORM TO ALL CONSTRUCTION STORM WATER EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATION".
13. CONTRACTOR SHALL MAINTAIN AND PRESERVE EXISTING ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN ACCORDANCE WITH THE OKLAHOMA UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE OKLAHOMA UNDERGROUND FACILITIES DAMAGE PREVENTION TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. EXCESS EXPOSURES SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.



(According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map No. 400013C03010E, with the effective date of June 2, 2011, the property is located in Flood Zone " X ", areas to be determined as outside the 100-year floodway and floodplain. All Floodplain information noted in the plat reflects the status per the FEMA FIRM map that is effective at the time that the plat is recorded. Floodplain status is subject to change as FEMA FIRM maps are updated.

DURANT, OKLAHOMA

SITE UTILITY - SEWER

[illegible]

PREPARED
BY:



ASHLEY BICE, PE
CIVIL ENGINEER
PO BOX 28634
LITTLE ROCK, AR 72221
ASHLEY@BICECONSULTING.US
(501) 593-1298

SUNVIEW DEVELOPMENT
Jay Mauck
721 US-70
Kingston, Oklahoma 73439

PLAN DATE:		
4/28/2021		
DESIGN:	CHECK:	DRAWN:
PROJECT NO.		
21-041		
SHEET NO.		

1. CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED FOR REMOVAL FROM DAMAGE.
2. ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, AND APPLICABLE REGULATORY AGENCIES.
3. SEE THE DETAILS SHEET FOR SPECIFIC UTILITY DETAILS AND UTILITY SERVICE DETAILS.
4. ALL UTILITIES SHALL TERMINATE 4' FROM THE BUILDING UNLESS OTHERWISE NOTED.
5. ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY.
6. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING MUST BE NOTIFIED 48 HOURS BEFORE TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING CITY UTILITIES.
7. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
8. ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY.
9. REFER TO THE GEOTECHNICAL REPORT FOR SUBSURFACE CONDITIONS.
10. ALL WATER SERVICES TO BE 1" POLY.

1. LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGE TO EXISTING UTILITIES.
5. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL WATER STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
6. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING ANY WORK.
8. ALL AREAS WITHIN THE PAVED AREAS ARE TO RECEIVE A GRAVEL BASE TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 15K TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
9. ALL AREAS NOT WITHIN THE PAVED AREA ARE TO RECEIVE LOOSE STRAW TO PROVIDE EROSION CONTROL IF WORK IS NOT PROGRESSING IN AN ORDERLY MANNER. A RATE OF 15 TONS/ACRE IS TO BE APPLIED WITHIN TWO WEEKS OF FINAL GRADING.
10. AFTER NEW INLETS ARE CONSTRUCTED, INSTALL INLET PROTECTION PER CITY OF OKLAHOMA SPECIFICATIONS.
11. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
12. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM AND CONSTRUCTION TO CONFORM TO ALL CONSTRUCTION STORM WATER EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATION".
13. CONTRACTOR SHALL MAINTAIN AND PRESERVE EXISTING ENVIRONMENTAL QUALITY. WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
14. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN ACCORDANCE WITH THE OKLAHOMA UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE OKLAHOMA UTILITY RECORDS CENTER AT (405) 522-6543 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.
15. CONTRACTOR TO CONSTRUCT ALL ACCESS RAMPS AND PAVING TO ADA STANDARDS.
16. TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
17. EXCESS EXPOSURES SHALL BE STOCKPILED AT LOCATION APPROVED BY OWNER AND CONFIRMED BY ENGINEER OF RECORD.

1. TRACER WIRE (SOLID NOT STRANDED) SHALL BE PRESENT ON ALL LINES AND SERVICES AND MUST BE ABLE TO BE LOCATED.
2. TRACER WIRE TO BE PROVIDED BY OWNER.
3. FITTINGS SHALL BE MECHANICAL AND MEGA-LUG ONLY (OR APPROVED EQUAL), NO KNIFE CUTS.
4. WHEN DEFLECTION LIMITS OF THE PIPING WILL NOT BE EXCEEDED, NO FITTING SHOULD BE USED.
5. FORD BRASS OR APPROVED EQUAL SHALL BE USED/APPROVED BY PUBLIC UTILITIES DIRECTOR OR CITY ENGINEER
6. METERS SHALL BE PURCHASED FROM THE CITY.
7. WHERE ANY POTENTIAL OF CONCRETE THAT COULD TOUCH THE FITTINGS, THE FITTING SHOULD BE COVERED IN VISQUEEN PLASTIC.
8. ALL WATERMAIN TO BE C900 PVC.



According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Map No. 400013C03010E, with the effective date of June 2, 2011, the property is located in Flood Zone " X ", areas to be determined as outside the 100-year floodway and floodplain. All Floodplain information noted in the plat reflects the status per the FEMA FIRM map that is effective at the time that the plat is recorded. Floodplain status is subject to change as FEMA FIRM maps are updated.



PREPARED BY:



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LITTLE ROCK, AR 72221
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(501) 593-1298

[illegible]

SITE UTILITY - WATER

PLAN DATE:		
4/28/2021		
DESIGN:	CHECK:	DRAWN:
PROJECT NO.		
21-041		
SHEET NO.		
C300		



THE CITY OF DURANT

Office of Community Development

Date: 11/01/2022
To: Planning Commission
Case: PC 2022-28
From: Danielle O'Neal, Community Development Director
Re: Rezoning from the A-1, General Agriculture District to the R-1, Single-Family Residential District and a Planned Unit Development Request for property located near the intersection of Cemetery Road and Rodeo Road.

Request: Consider a request from Wrangle Acres, LLC, for a Rezoning from the A-1, General Agriculture District to the R-1, Single-Family Residential District and a Planned Unit Development for property located near Cemetery Road and Rodeo Road.

Current Zoning: A-1, General Agriculture

Requested Zoning: R-1, Single-Family Residential

Surrounding Properties:

Direction	Zoning	Use
North	A-1	Vacant
West	R-1	Vacant
South	A-1	Vacant
East	A-1	Vacant

Lot Characteristics: (Total)

Width	~ 215 ft.
Depth	~ 976 ft.
Total Area	~5 acres (~209,840 sq. ft.)

Applicant: Wrangler Acres, LLC

Background: The applicant approached staff regarding a request for a Rezoning and Planned Unit Development (PUD) to place nine single-family homes upon the 5 acres. The applicant states that the homes will consist of a two-car garage and paved driveway. The homes are expected to be rental property.

Notifications have been made to the surrounding property owners and at the time of this report staff has received a letter of opposition regarding this project (see attached).

Analysis: The aforementioned property is approximately 5 acres total and currently is a vacant piece of property. The surrounding area is made up of Agriculture and Residential Zoned properties. The subject property does meet the requirements for the lot area within the requested Planned Unit Development and rezoning request.

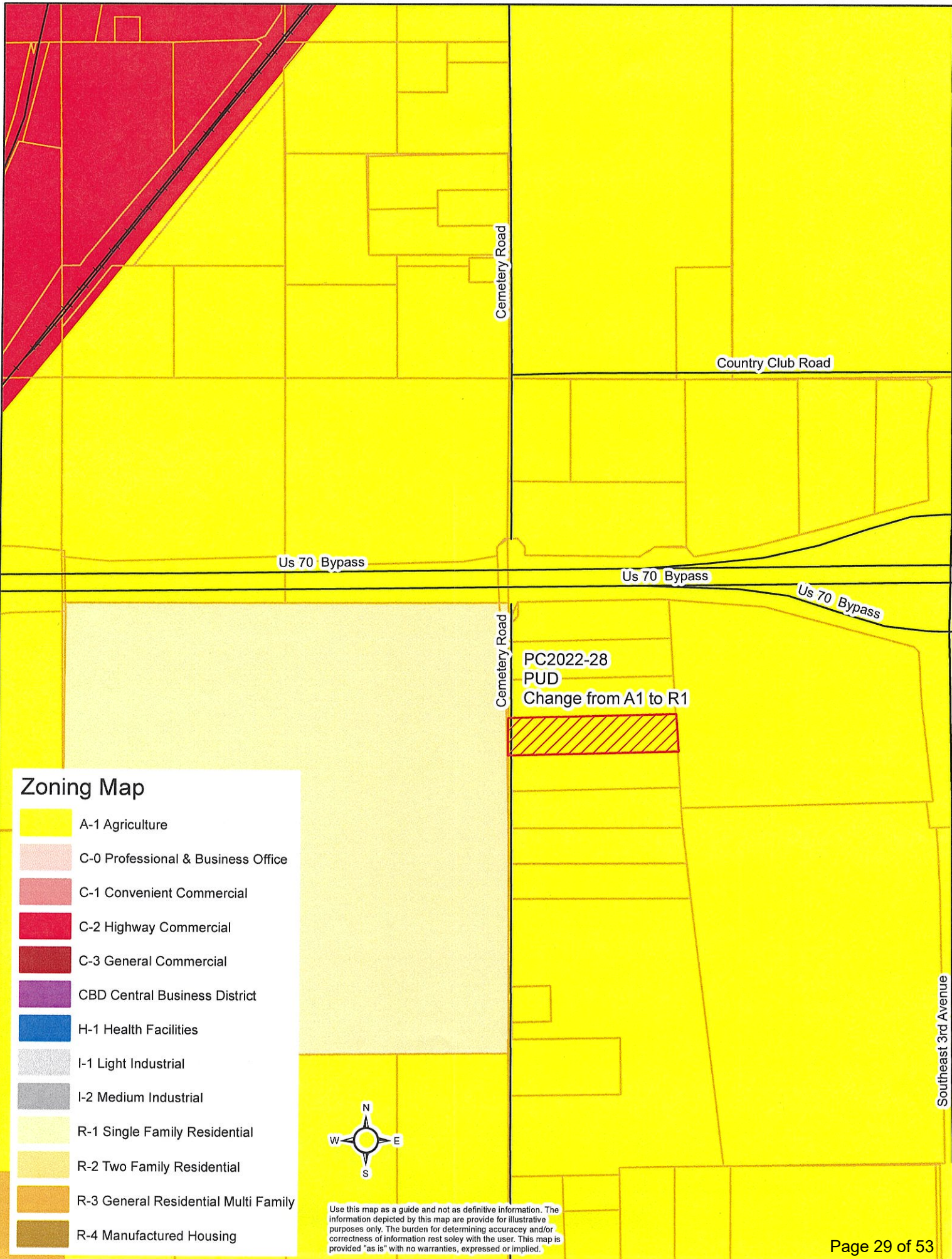
The development shows that there will be nine homes placed on the 5-acre lot. This development will meet the required setbacks, parking as well as having sidewalks and streetlights as required within ordinance. The street will be a private drive but will meet city code. There is City water in the area and there will be a master meter for this development. The water line throughout the development will be a private line. There is no sewer in the area; therefore, the development will be required to have some sort of aerobic/septic system. The aerobic/septic system will need to be approved by the Oklahoma Department of Environmental Quality (ODEQ).

Staff members reviewed and signed off on this project with the following comments. The Maintenance and Operations staff did note that this would have a master meter and a private line through the property. The fire marshal made note regarding the hydraulic calculation needing to be provided once the waterline is installed. Further review will be completed once building plans and permits has been submitted. The city engineer stated that they would need to provide stormwater and requested that they loop the waterline back to Cemetery so that it would not be a dead-end line. Community Development made a comment regarding some items needed on the plat as well as the need for a stormwater permit from the Oklahoma Department of Environmental Quality (ODEQ) and the Stormwater Pollution Prevention Program (SW3P) plans before a building permit can be obtained. The items noted are supposed to be completed prior to the date of the Planning Commission meeting.

The current Future Land Use Map has this area as low-density residential land uses; therefore, this PUD and rezoning request is generally in line with the Future Land Use Map.

Staff Recommendation: Staff has signed off with notes supporting this project; however, staff does recommend that the items that need corrected are done prior to signing the plat.

Required Action: Hold a public hearing to recommend approval or denial of the Rezoning from the A-1, General Agriculture District to the R-1, Single-Family Residential District and a Planned Unit Development request for the property located near Cemetery Road and Rodeo Road. Any specific conditions imposed by the Commission should be read into any approval motion.

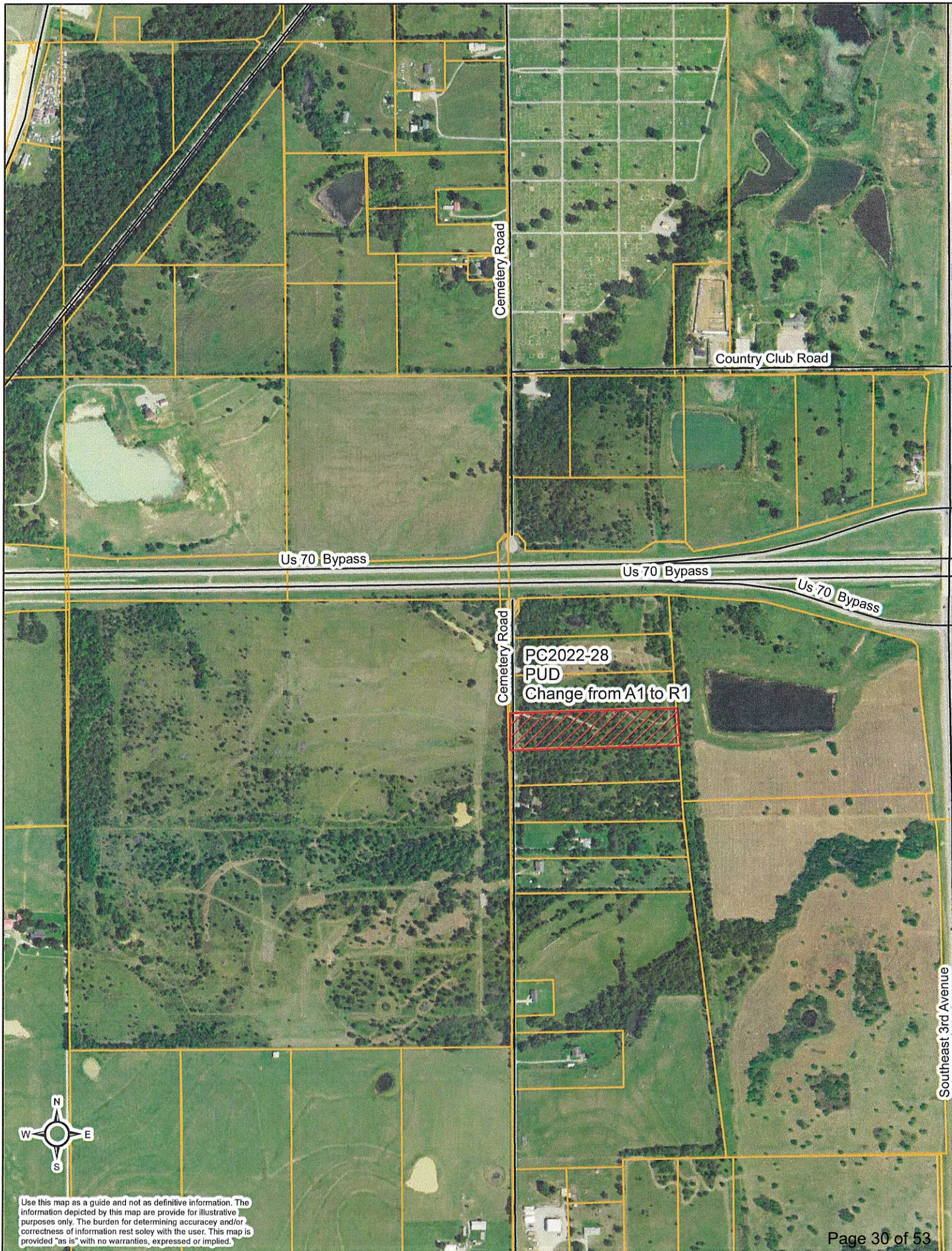


Zoning Map

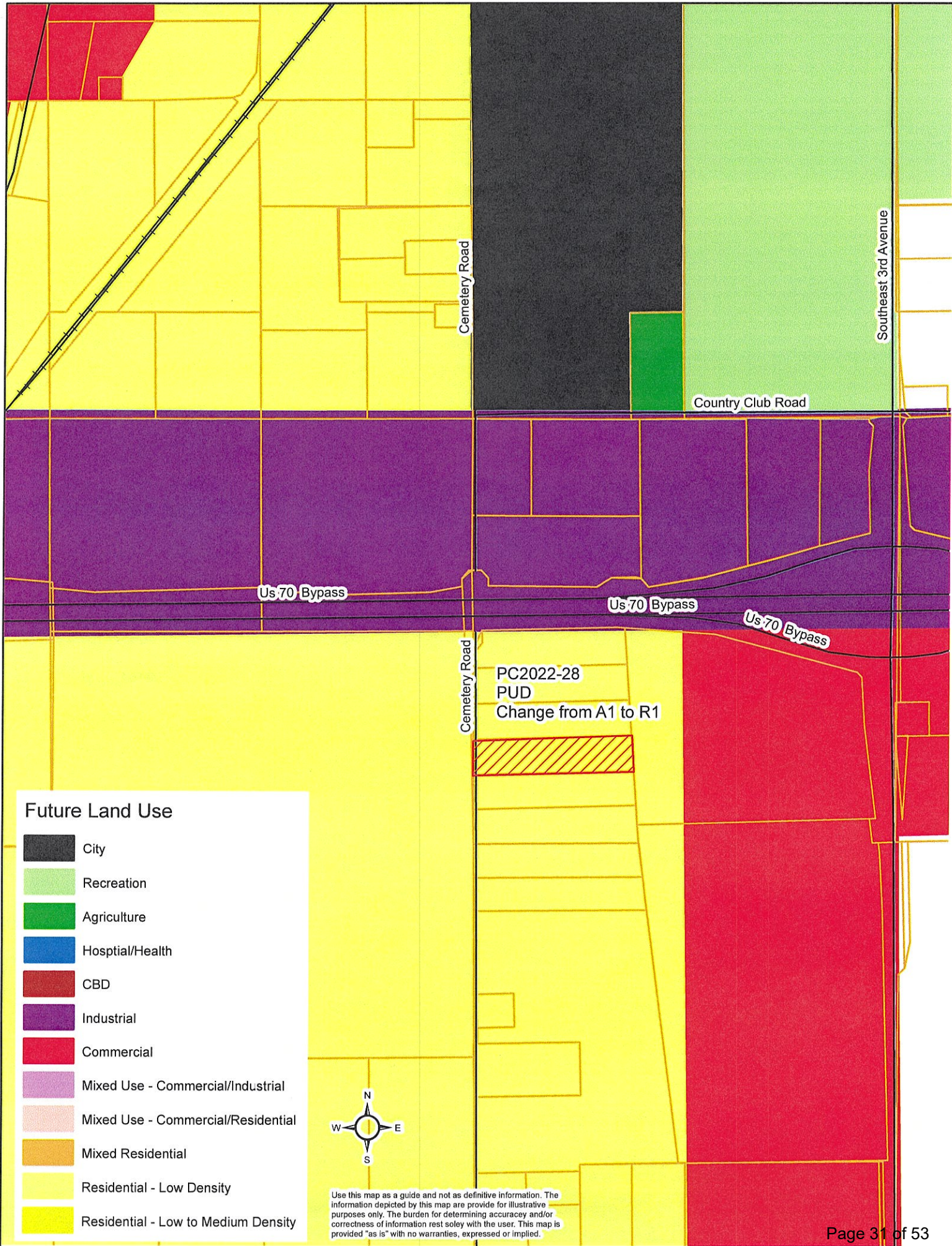
- A-1 Agriculture
- C-0 Professional & Business Office
- C-1 Convenient Commercial
- C-2 Highway Commercial
- C-3 General Commercial
- CBD Central Business District
- H-1 Health Facilities
- I-1 Light Industrial
- I-2 Medium Industrial
- R-1 Single Family Residential
- R-2 Two Family Residential
- R-3 General Residential Multi Family
- R-4 Manufactured Housing



Use this map as a guide and not as definitive information. The information depicted by this map are provide for illustrative purposes only. The burden for determining accuracy and/or correctness of information rest solely with the user. This map is provided "as is" with no warranties, expressed or implied.



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Future Land Use

- City
- Recreation
- Agriculture
- Hospital/Health
- CBD
- Industrial
- Commercial
- Mixed Use - Commercial/Industrial
- Mixed Use - Commercial/Residential
- Mixed Residential
- Residential - Low Density
- Residential - Low to Medium Density



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ORDINANCE NO. **O-2022-XX**

**AN ORDINANCE AMENDING THE ZONING MAP OF THE ZONING CODE
AND DECLARING AN EMERGENCY**

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF DURANT, OKLAHOMA

SECTION 1. That the zoning map is hereby amended as to replace the A-1 General Agriculture Zoning Districts to the R-1, Single-Family Residential Zoning District for property located near Cemetery Road and Rodeo Road, in Durant, and more particularly described as;

Lot 4 in the Final Plat of Okie Acres, an Addition to the City of Durant, Bryan County, Oklahoma, according to the recorded plat thereof.

SECTION 2. For the immediate preservation of the peace, health, and safety of the City of Durant, Oklahoma and the inhabitants thereof, it is necessary that this ordinance shall become operative and go into effect immediately upon its passage, approval and publication.

PASSED AND APPROVED by the Mayor and City Council of the City of Durant this 8th day of November, 2022.

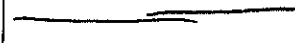
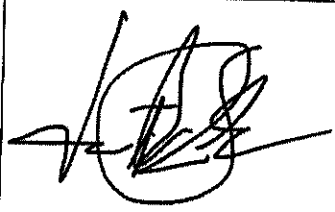
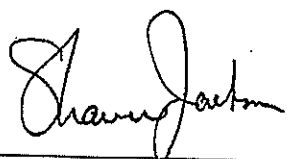
Oden Grube, Mayor
City Of Durant, Oklahoma

ATTEST:

Cynthia J. Price, City Clerk

COMMUNITY DEVELOPMENT PLAT SIGN OFF SHEET

Wrangler Acres PC2022-28 Cemetery & Rodeo

Department	Signature	Date	Notes
Com Dev Director Danielle O'Neal		10/27/22	Will need ODEQ stormwater permit vicinity map unplatted land - property owner name owner's notarized signature
M&O Randy Cantrell		09-13-2022	This will have master meter and will be private line into/throughout property
Streets Carl Meade		9-13-2022	
Public Works Director Phillip Hightower			
Fire Marshal Jonathan Strahm		10-6-22	Refer to attached notes. Hydraulic calculation must be provided once waterline is installed. An approved company through the city of Durant must be used to flow hydrants.
Building Official Shawn Jackson		9-13-2022	
Engineer Brandon Wall			

COMMUNITY DEVELOPMENT PLAT SIGN OFF SHEET

Wrangler Acres PC2022-28 Cemetery & Rodeo

Department	Signature	Date	Notes
Com Dev Director Danielle O'Neal	<i>* see attached *</i>		
M&O Randy Cantrell	<i>Randy Cantrell</i>	09-13-2022	This will have master meter and we'll be private line into/throughout property
Streets Carl Meade	<i>Carl Meade</i>	9-13-2022	
Public Works Director Phillip Hightower	<i>Phillip Hightower</i>	11-6-22	
Fire Marshal	<i>* see attached *</i>		
Building Official Shawn Jackson	<i>Shawn Jackson</i>	9-13-2022	
Engineer Brandon Wall	<i>* see attached *</i>		



16427 SW 23rd Street
El Reno, Oklahoma 73036
405-205-5593

September 23, 2022

City of Durant
300 W Evergreen
Durant, OK 74701

RE: Wrangler Acres – Fire Hydrants

To whom it may concern,

The location of the fire hydrants, waterline size and fire flow will be determined during the building plan review process. At this time, when the project is submitted for plan review, the proposed plans will need to conform to the 2018 International Fire Code sections 507, Appendix B and C.

Furthermore, the City of Durant Fire Department requires a 4" storz with cap on the fire hydrant steamer.

The fire department access roads shall conform to 2018 IFC Appendix D and IFC 503.

We look forward to working with you on this project. If you have any questions please let us know.

Thank you,

Jonathan T. Strahorn



Danielle O'Neal <doneal@durant.org>

Plat Submittal Discussion Meeting

brandon@wallengineering.com <brandon@wallengineering.com>
To: Danielle O'Neal <doneal@durant.org>

Fri, Sep 9, 2022 at 8:08 AM

I don't really see much for comment on these other than reminding Wranglers Acres they need to provide stormwater. Also, it would be nice if they could loop that watermain back to Cemetery so that wouldn't be a dead-end.

Thanks,

Brandon Wall, P.E., President

Wall Engineering, LLC

PO Box 1457, Durant, OK 74702 (mailing)

223 N Washington, Durant, OK 74701 (physical)

(c) 580.931.7998

[Quoted text hidden]



Danielle O'Neal <doneal@durant.org>

Wrangler Acres - Sign Off

brandon@wallengineering.com <brandon@wallengineering.com>
To: Danielle O'Neal <doneal@durant.org>

Wed, Oct 26, 2022 at 1:21 PM

We had no additional comments.

Thanks,

Brandon Wall, P.E., President

Wall Engineering, LLC

PO Box 1457, Durant, OK 74702 (mailing)

223 N Washington, Durant, OK 74701 (physical)

(c) 580.931.7998

[Quoted text hidden]

Christopher Castro & Stephanie Moore
3150 Cemetery Road
Durant, OK 74701

The City of Durant
Office of Community Development
P.O. Box 578
Durant, OK 74702

October 26, 2022

RE: Public Hearing PC2022-28

To Whom It May Concern:

Please use this letter as protest on our behalf for the motion to rezone Lot 4 in the Final Plat of Okie Acres, an Addition to the City of Durant, Bryan County, Oklahoma. We strongly **OPPOSE** to the rezoning of this lot for the following reasons:

1. We purchased our property (Lot 6 in the Final Plat of Okie Acres) due to the fact that it had just been rezoned as A-1 General Agricultural District land. We could experience the feel of the country. It was also a dead-end street, limiting traffic with plenty of privacy. We've spent a substantial amount of time and money (and continue to do so) towards this dream, and feel that it is highly unfair for someone to decide to develop what is essentially an entire neighborhood in the middle of the six 5 acre lots (especially within such a short time of the original rezoning). This is completely unfair to every family who purchased land in Okie Acres outside of Wrangler Acres LLC. Anything other than 2 residential homes should not even be a consideration for this area. As stated previously, the lot in question is in the middle of the six 5-acre plots. Only one of the end lots would make sense to rezone and develop in the way that the Applicant is planning to do.
2. Cemetery road is not often traveled and cannot handle the additional traffic to accommodate this development. The road is already difficult for the city to maintain, and we are concerned about the quality of the road and how access would be for the new homes considering the lots in Okie Acres are longer than they are wide. If a new road was to be built or the current road widened, it would likely encroach our property. We are highly opposed to this as well.

Thank you for your time and consideration regarding this matter. We graciously request that you **DENY** Application PC2022-28 to rezone Lot 4 in Okie Acres.

Sincerely,

Christopher Castro
Stephanie Moore
3150 Cemetery Road

REZONING APPLICATION

Petition # PC 2022-28
Fee \$ 300

APPLICANT INFORMATION

Name: <u>Wrangler Acres, LLC</u>	Email: <u>Genuine Home Building@gmail.com</u>	Phone #1: <u>580-920-3703</u>
Mailing Address: <u>2620 Madey Dr.</u>	Phone #2: <u>580-920-5897</u>	
City: <u>Durant</u>	State: <u>OK</u>	Zip: <u>74701</u>
Applicant's Interest in Property: <u>owner</u>		

☐ Please use attached addendum if there is more than one applicant.

Physical Address of Rezoning Request: <u>3052 Cemetery Rd.</u>			
☒ Platted ☐ Un-Platted	Subdivision: <u>Okie Acres</u>	Lot: <u>4</u>	Block:
Legal Description: (If Un-platted)			

☒ Deed Attached (required) If applicant is not owner listed on deed, owner consent must be included.

Request Rezoning From: <u>A-1</u>	Request Rezoning To: <u>R-1</u>		
Present Use:	Proposed Use: <u>R-1 Housing</u>		
Parcel Width: <u>218.41'</u>	Parcel Length: <u>992.65'</u>	Acres: <u>5</u>	Street/Road Frontage: <u>218.41'</u>
☒ City Water (If City Water will be extended or improvements will be made, please explain:)			
☐ City Sewer (If City Sewer will be extended or improvements will be made, please explain:)			
☐ Private Water ☐ Private Sewer			
Is Property in the Floodplain? <u>No</u>	Is property in the Airport Zone.		

The applicant has prepared this application and supporting documentation and certifies that the facts stated herein and exhibits attached hereto are true and correct.

Signature of Applicant

Date

Office Use Only

Date Filed	Date Payment Received	Notification Mailed	Comments
Initial	Initial	Initial	
Proof of Publication Received	Property Posting Verified	Comprehensive Plan Recommendations	
Date Initial	Date Initial		
Staff Recommendation ☐ Approve ☐ Deny	PC Recommendation ☐ Approve ☐ Deny	City Council Action ☐ Approve ☐ Deny	Ordinance #

RECEIVED
SEP - 2 2022

REZONING SUPPORTING INFORMATION

1. List the changed or changing conditions in the area or in the City which makes this zone change necessary.

The city is growing and has an increased need for housing

2. Indicate whether or not this zone change is in accordance with the Comprehensive Plan. If it is not, explain why the Plan is incorrect.

Yes it is in accordance with the Comprehensive plan.

3. List any other reasons to support this zone change.

To encourage live/work opportunities

PLANNED UNIT DEV. APPLICATION (PUD)

Petition # PC2022-28
Fee \$ 300

APPLICANT INFORMATION

Name: <u>Wrangler Acres, LLC</u>	Email: <u>Genuine Home Building@gmail.com</u>	Phone #1: <u>580-920-3703</u>
Mailing Address: <u>2620 Macey Dr.</u>	Phone #2: <u>580-920-5897</u>	
City: <u>Durant</u>	State: <u>OK</u>	Zip: <u>74701</u>
Applicant's Interest in Property: <u>Owner</u>		

☐ Please use attached addendum if there is more than one applicant.

Physical Address of proposed PUD: <u>3052 Cemetery Rd., Durant, OK</u>		Name of Project: <u>Wrangler Acres</u>	
☒ Platted ☐ Un-Platted	Subdivision: <u>Okie Acres</u>	Lot: <u>4</u>	Block:
Legal Description: (If Un-platted)			

Existing Zoning: <u>A-1</u>	Proposed Use: <u>R-1 for residential housing</u>		
Present Use:	Parking Spaces Required:	Parking Spaces Provided:	
Parcel Width: <u>218.41'</u>	Parcel Length: <u>392.65'</u>	Acres: <u>5</u>	Street/Road Frontage: <u>218.41'</u>
☒ City Water	(If City Water will be extended or improvements will be made, please explain:)		
☐ City Sewer	(If City Sewer will be extended or improvements will be made, please explain:)		
☐ Private Water	☐ Private Sewer		
Explain in your own words why your property should be a Planned Unit Development. <u>The property is unique in shape, narrow and deep. A PUD would permit building flexibility that would encourage more efficient use of land and create more housing for the community.</u>			

The applicant has prepared this application and supporting documentation and certifies that the facts stated herein and exhibits attached hereto are true and correct.

Applicant: [Signature] Date: 8/29/22

Office Use Only

Date Filed	Date Payment Received	Notification Mailed	Comments
Initial	Initial	Date Initial	
Proof of Publication Received		Property Posting Verified	Comprehensive Plan Recommendations
Date	Initial	Date	Initial
Staff Recommendation ☐ Approve ☐ Deny	PC Recommendation ☐ Approve ☐ Deny	City Council Action ☐ Approve ☐ Deny	Ordinance #

RECEIVED

SEP - 2 2022

APPLICATION WILL NOT BE CONSIDERED COMPLETE WITHOUT THE FOLLOWING INFORMATION ADDRESSED:

Please describe the nature and operating characteristics of the proposed use:

To provide single family homes in an attractive shared community.

STATE HOW THE FOLLOWING ISSUES WILL BE ADDRESSED:

1. Parking:

Each home will consist of a 2 car garage and a paved driveway.

2. Screening of offensive areas (trash, loading areas, transformers, utility connections, detention ponds, etc.).

Each tenant will have their own city trash pick up. Any other offensive areas will be addressed if needed.

3. Traffic Impacts:

minimal traffic impacts.

4. Protection of Neighborhoods:

Sufficient lighting, sufficient spacing between homes, maintained landscaping, sufficient turn around area for fire trucks, school buses, etc.

What licenses and permits (if any) are required for this proposed use?

Building permits and DEQ approval.

Please list or describe any other reasons to support this Planned Unit Dev. Permit Application.

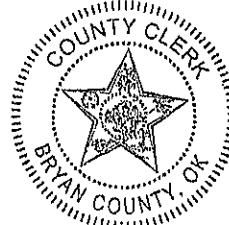
The property is unique in shape due to its narrow width. A PUD will permit building flexibility and encourage more efficient use of land.

Bryan County Abstract Company
Serving Bryan County Since 1903

After recording return to:
Wrangler Acres, LLC
2620 Maxey Dr.
Durant, OK 74701

1-2022-747787 Book 1608 Pg: 829
08/24/2022 1:18 pm Pg 0829-0829
Fee: \$ 18.00 Doc: \$ 135.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

**WARRANTY DEED
STATUTORY INDIVIDUAL**



Doc Stamps: \$135.00

That David R. Schrock, a single person, (the "Grantor"), in consideration of the sum of TEN & NO/100 Dollars and other valuable considerations, in hand paid, the receipt of which is hereby acknowledged, do (es) hereby, grant, bargain, sell and convey unto Wrangler Acres, LLC (the "Grantee"), the following described real property and premises situate in Bryan County, State of Oklahoma, to wit:

Lot 4, in the Final Plat of Okie Acres, an Addition to the City of Durant, Bryan County, Oklahoma, according to the recorded plat thereof.

Together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same. LESS AND EXCEPT any interest in and to oil, gas, coal, metallic ores and other minerals therein and thereunder previously reserved or conveyed of record and all rights, interests and estates of whatsoever nature incident thereto or arising thereunder, and SUBJECT TO easements, rights of way, restrictive covenants of record.

TO HAVE AND TO HOLD said described premises unto said Grantee, and to the heirs, successors and assigns forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

Signed and delivered this 24th day of August, 2022.

David R. Schrock

STATE OF OKLAHOMA
Bryan County
Documentary Stamps \$ 135.00

ACKNOWLEDGMENT - OKLAHOMA FORM

State of: Oklahoma)

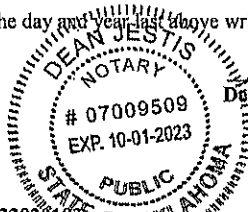
)SS.

County Of: Bryan)

Before me, the undersigned, a Notary Public, in and for said County and State, on this 24th day of August, 2022 personally appeared David R. Schrock, a single person to me known to be the identical person(s) who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses and purposes therein set forth

Given under my hand and seal the day and year last above written.

My Commission Expires: 10/01/2023

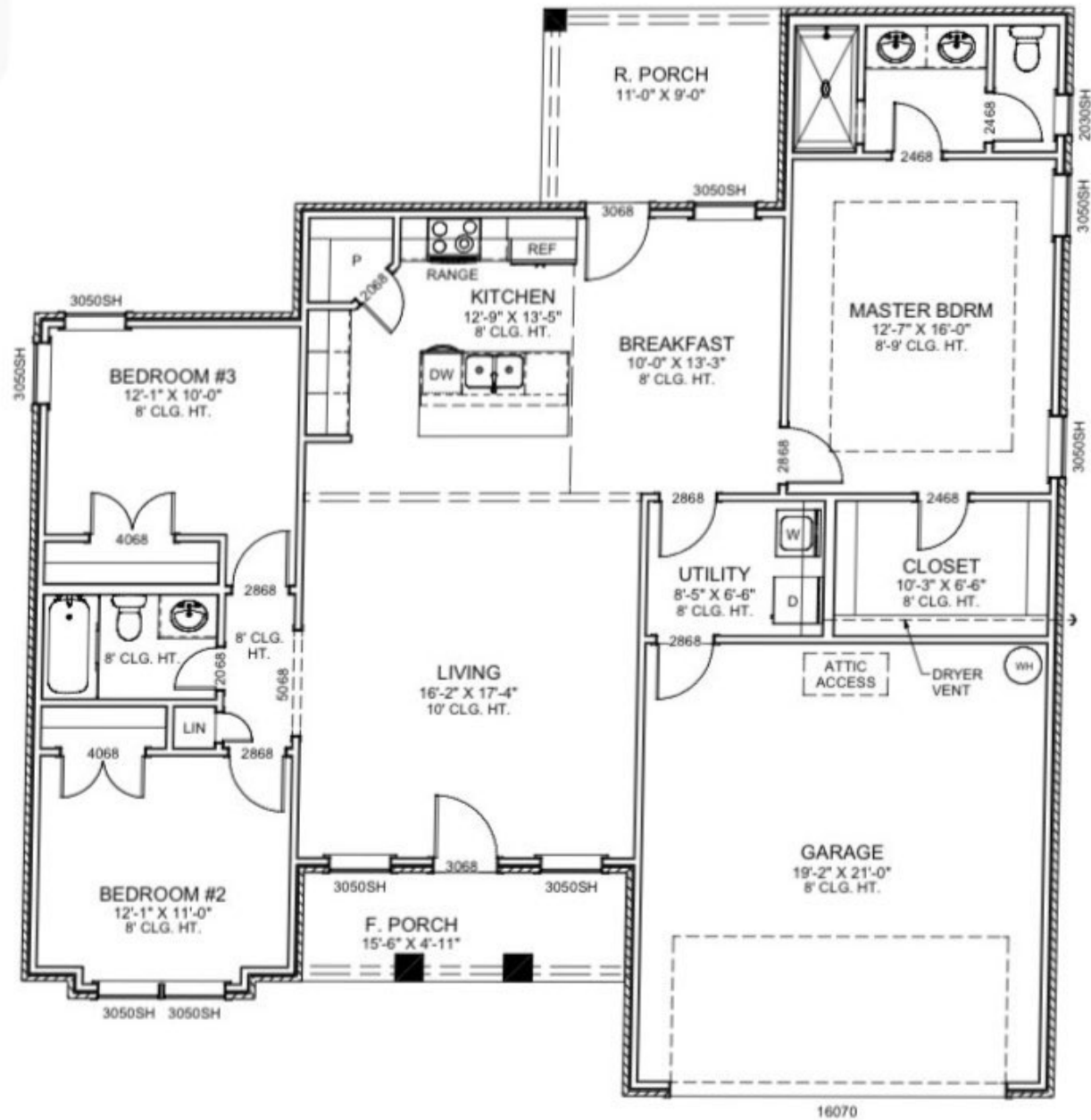


Dean Jestis, Notary Public

File No.:

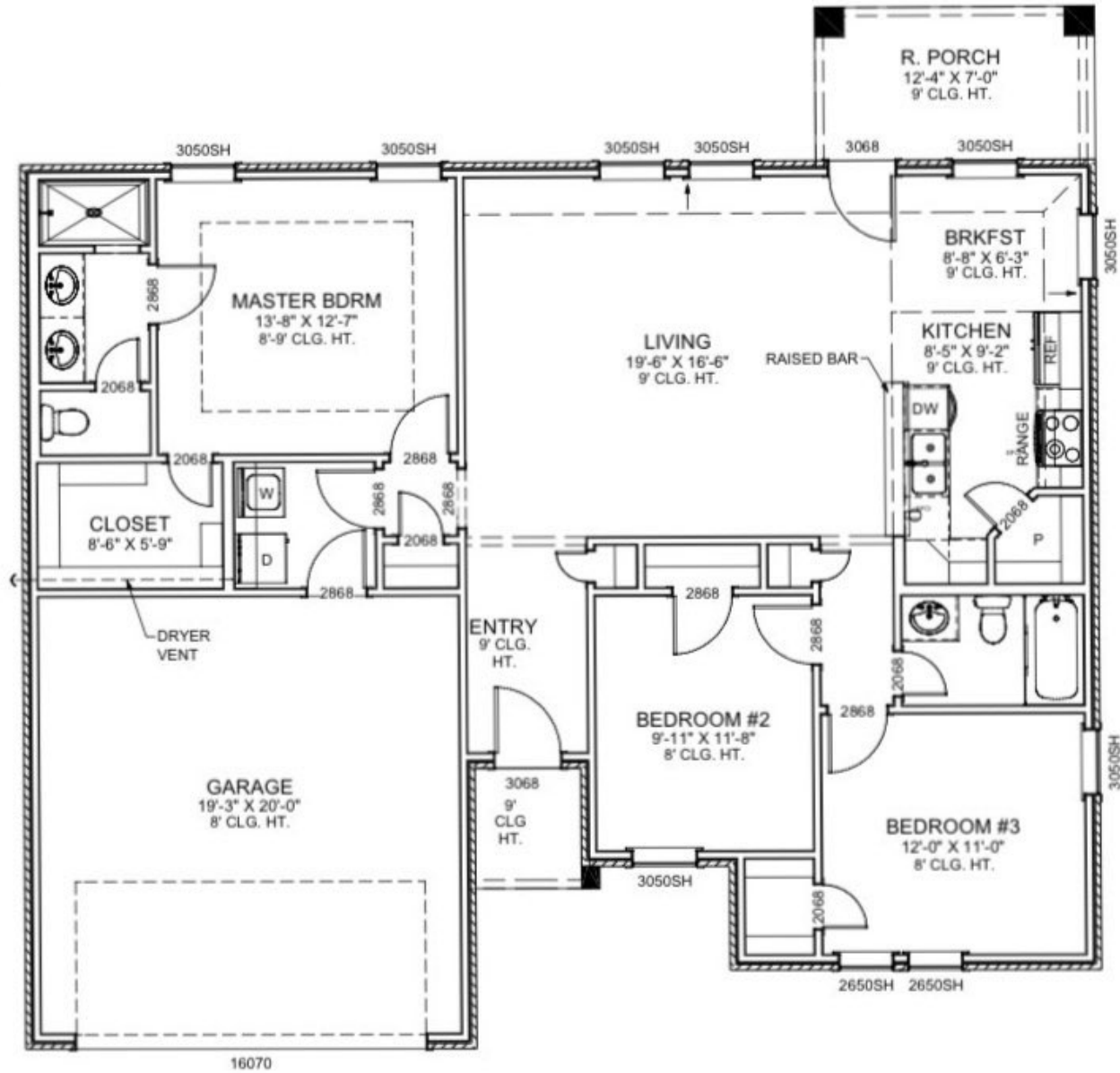
Name of Title Insurer:

2022020403
American Eagle Title Insurance Company

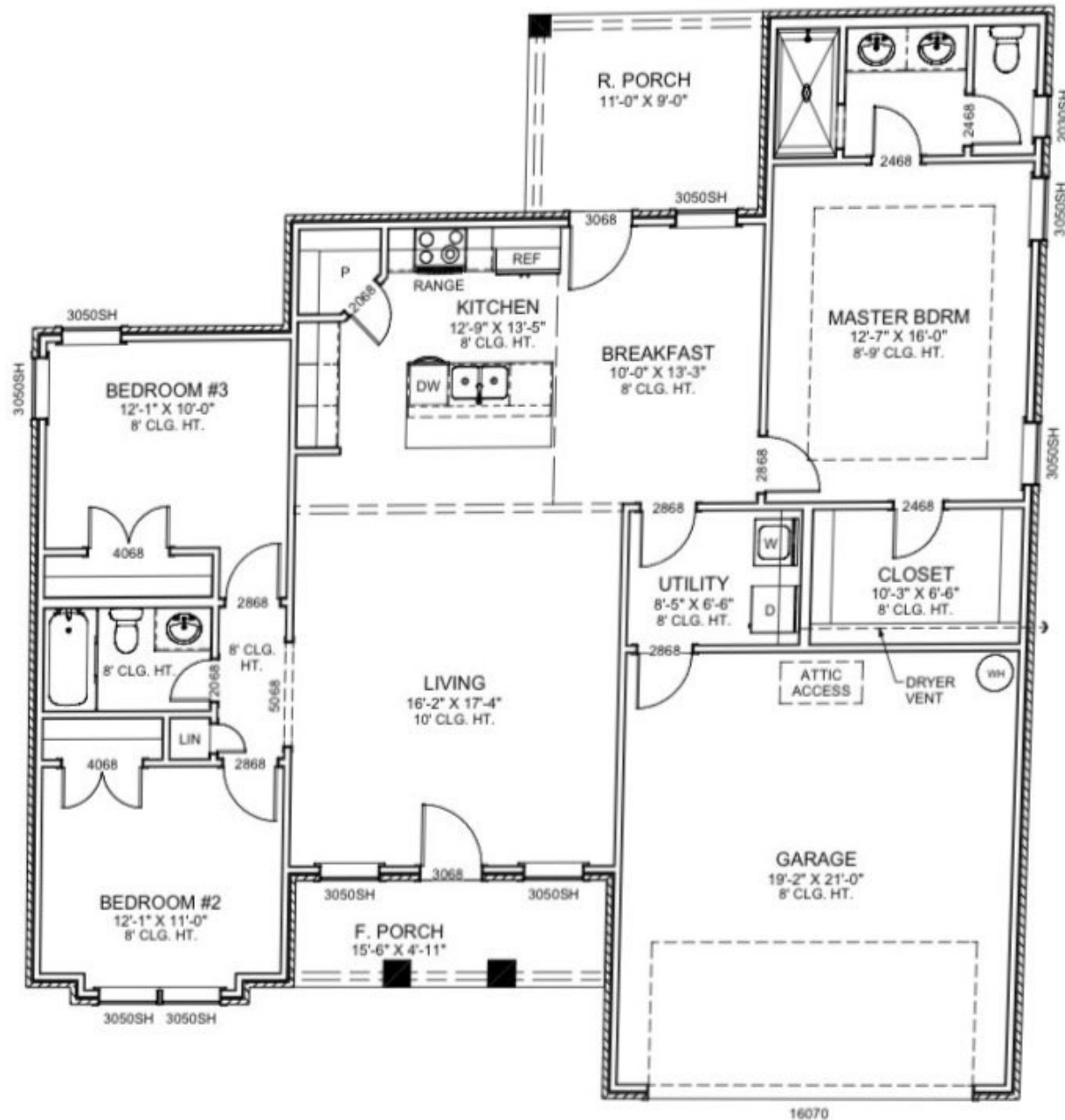


FLOOR PLAN - DILLARD

1 of 1



FLOOR PLAN - HARVARD



FLOOR PLAN - DILLARD

PLANNED UNIT DEVELOPMENT

SURVEYOR

Wrangler Acres, LLC
2620 Maxey Drive
Durant, OK 74701

LEGAL DESCRIPTION

Lot 4 of Okie Acres, an addition to the City of Durant,
Bryan County, Oklahoma.

AREA OF PLANNED UNIT DEVELOPMENT

217,800 square feet / 5.000 acres

[illegible]

Dustan Ryan Wolf
Managing Member

STATE OF OKLAHOMA
COUNTY OF BRYAN

Before me, the undersigned, a notary public in and for said county and state on the _____ day of _____, 2022, personally appeared Dustin Ryan Wolf, to me known to be the identical person who the name of the maker thereof to the foregoing instrument, and duly acknowledged to me that he executed the same as his free and voluntary act and deed of such partnership for the uses and purposes therein set forth. Given under my hand and seal the day and year last written above.

Notary Public

CERTIFICATE OF SURVEY

Michael T. Reynolds, a Professional Land Surveyor in the State of Oklahoma, hereby certify that I have made a careful survey of the foregoing described property designated as the Planned Unit Development of Wrenger Acres, a Planned Unit Development in the City of Durant, Bryan County, Oklahoma, and that the foregoing plot represents said survey and that steel rods, as described on this plot, have been located or placed at all lot corners unless noted. This plot of survey meets the Oklahoma Minimum Standards for the practice of land surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.

Witnessed my hand and seal this _____ day of _____, 2022.

Michael T. Reynolds, PLS No. 1651
License Expires 11/30/2022

STATE OF OKLAHOMA
COUNTY OF JOHNSTON

Before me, the undersigned, a notary public in and for said county and state on the _____ day of _____, 2022, personally appeared Michael T. Reynolds to me known to be the identical person who the name of the maker thereof to the foregoing instrument as its president, and duly acknowledged to me that he executed the same as his free and voluntary act and deed of such partnership for the uses and purposes therein set forth. Given under my hand and seal the day and year last written above.

Notary Public

CERTIFICATE OF DEPARTMENT OF ENVIRONMENTAL QUALITY APPROVAL

The Oklahoma Department of Environmental Quality certifies that this plot is approved for the construction of private sewage systems and a public water system this _____ day of _____, 2022.

Environmental Specialist
Department of Environmental Quality

CERTIFICATE OF COUNTY TREASURER

Prudy Sullivan-Holt, do hereby certify that I am duly elected, qualified, and acting County Treasurer of Bryan County, State of Oklahoma, that the tax records of said county, show all taxes paid for the year _____ and prior years on the land shown as the Planned Unit Development of Wrangler Acres, a Planned Unit Development in the City of Durant, Bryan County, Oklahoma, that the required statutory security has been deposited in the Office of the County Treasurer guaranteeing payment of the taxes for the current year.

_____ this day of _____, 2022.

County Treasurer

CERTIFICATE OF DURANT CITY PLANNING COMMISSION APPROVAL

_____, Chairman of the Durant Planning Commission for the City of Durant, Oklahoma, hereby certify that the said commission duly approved the Planned Unit Development of _____ Acres, a Planned Unit Development in the City of Durant, Bryan County, Oklahoma, on this _____ day of _____, 2022 and voluntary act and deed as the free and voluntary act and deed of _____, said such corporation for the uses and purposes.

Chairman

CERTIFICATE OF ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Pursuant to Durant subdivision regulations, this document was given approval by the Durant City Council at a meeting held on the _____ day of _____, 2022. All of the conditions for approval having been completed, this document is hereby accepted and this certificate executed under authority of such regulations.

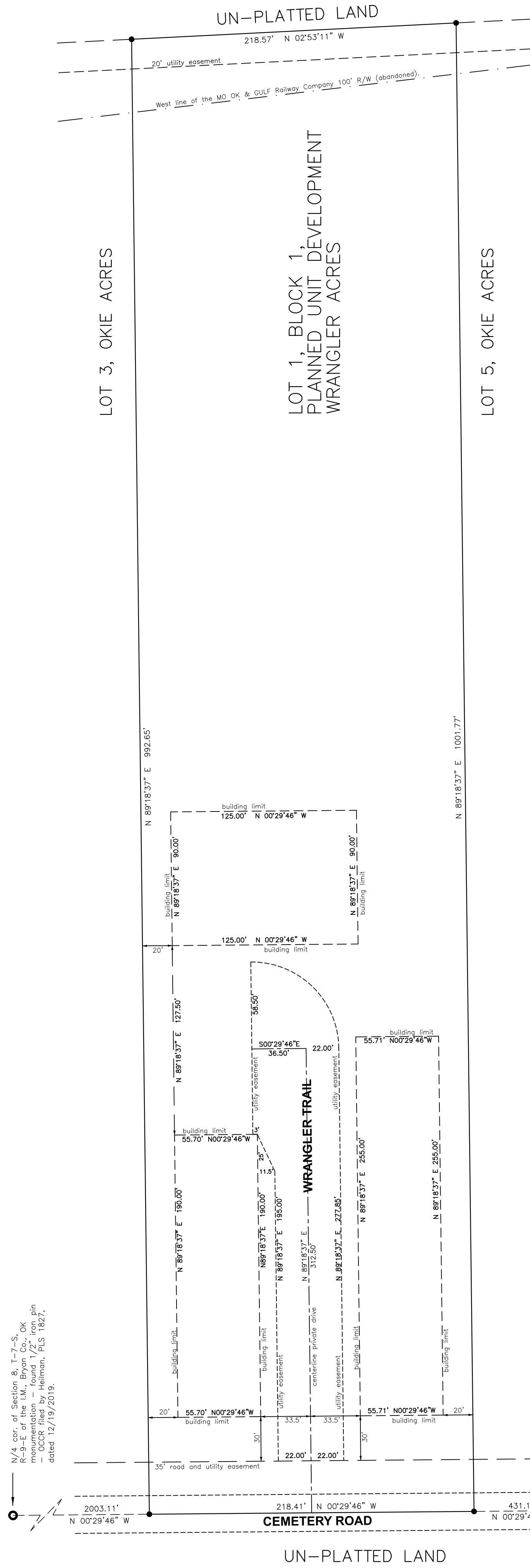
_____, 2022

Attest, City Clerk

CERTIFICATE OF RECORDING

This document, number _____, filed for record _____ day of _____, 2022,
at _____ in Plat Book _____.

County Clerk



FLOOD ZONE INFORMATION

Subject property is not in a Special Flood Hazard Area subject to inundation by the 1% annual chance flood according to Flood Insurance Rate Map, Map Number 40013C0310E, effective date 06/02/2011.

GENERAL NOTES

Survey conducted 03/01/22.

Controlling corners for this survey are shown. OGC# is the abbreviation for Oklahoma Geographic Coordinates. OGC#s are assigned with the acronym "OGC" followed by the number. Oklahoma Department of Libraries, 200 Northeast 18th Street, Oklahoma City, Oklahoma.

All bearings shown on this plot are based on the Oklahoma State Plane Coordinate System of 1963, South Zone. The West line of the NE/4 being N 00729.46° W.

No utilities of any kind have been located or shown for this plot. BEFORE YOU DIG CALL Oklahoma One-Call System, inc. - 811 or 1-800-522-6543.

Subject to easements, rights of way and restrictions, recorded or implied, if any, thereof. Photo and electronic copies of this plot make it invalid and may alter its meaning.

NOTICE

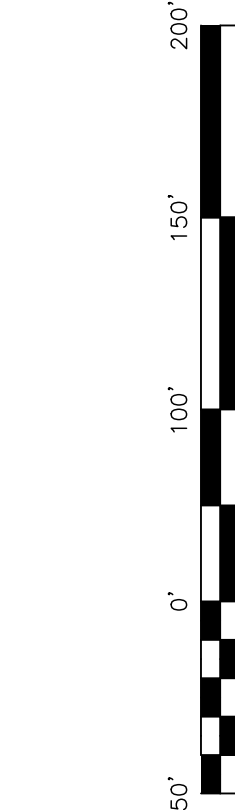
Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.

LEGEND

- ⊗ found 3/8" iron pin
 - found 1/2" iron pin
 - found 1/2" iron pin with cap stamped "1827"
- Z — line not to scale

VINCINITY MAP

C:\Carlson Projects\7S-9E\Section 8\Rodeo Road Vicinity 2.jpg



PLANNED UNIT DEVELOPMENT

THIS DOCUMENT IS PRELIMINARY IN

SURVEYOR

LEGAL DESCRIPTION

Lot 4 of Okie Acres, an addition to the City of Durant,
Bryan County, Oklahoma.

AREA OF PLANNED UNIT DEVELOPMENT

217,800 square feet / 5.000 acres

OWNER'S CERTIFICATE AND DEDICATION

That Wrangler Acres, LLC, hereby certify that it is the owner of, and the only person, firm or corporation having any right, title, or interest in and to the land shown on the Planned Unit Development of Wrangler

That Wrangler Acres, LLC, further certifies that it is the owner of and the only person, firm, or corporation who has any right, title or interest in the above mentioned Planned Unit Development.

Dustan Ryan Wolf
Managing Member

STATE OF OKLAHOMA
COUNTY OF BRYAN

Before me, the undersigned, a notary public in and for said county and state on the _____ day of _____, 2022, personally appeared Dustin Ryan Wolf, to me known to be the identical person

Notary Public

CERTIFICATE OF SURVEY

_____, Michael T. Reynolds, a Professional Land Surveyor in the State of Oklahoma, hereby certify that I have made a careful survey of the foregoing described property designated as the Planned Unit Development of _____.

Witnessed my hand and seal this _____ day of _____, 2022.

Michael T. Reynolds, PLS No. 1651
License Expires 11/30/2022

STATE OF OKLAHOMA
COUNTY OF JOHNSTON

Before me, the undersigned, a notary public in and for said county and state on the _____ day of _____, 2022, personally appeared Michael T. Reynolds to me known to be the identical

Notary Public

CERTIFICATE OF DEPARTMENT OF ENVIRONMENTAL QUALITY APPROVAL

The Oklahoma Department of Environmental Quality certifies that this plat is approved for the construction of private sewage systems and a public water system this _____ day of _____, 2022.

Environmental Specialist
Department of Environmental Quality

CERTIFICATE OF COUNTY TREASURER

I, Prudy Sullivan-Holt, do hereby certify that I am duly elected, qualified, and acting County Treasurer of Bryan County, State of Oklahoma, that the tax records of said county, show all taxes are paid for the year _____ and _____.

and _____ years on the land shown as the Planned Unit Development of Wannler Acres a Planned and _____

_____ this _____ day of _____, 2022.

County Treasurer

CERTIFICATE OF DURANT CITY PLANNING COMMISSION APPROVAL

_____, Chairman of the Durant Planning Commission for the City of Durant, Oklahoma, hereby certify that the said commission duly approved the Planned Unit Development of Wrangler

Chairman

CERTIFICATE OF ACCEPTANCE OF DEDICATION BY CITY COUNCIL

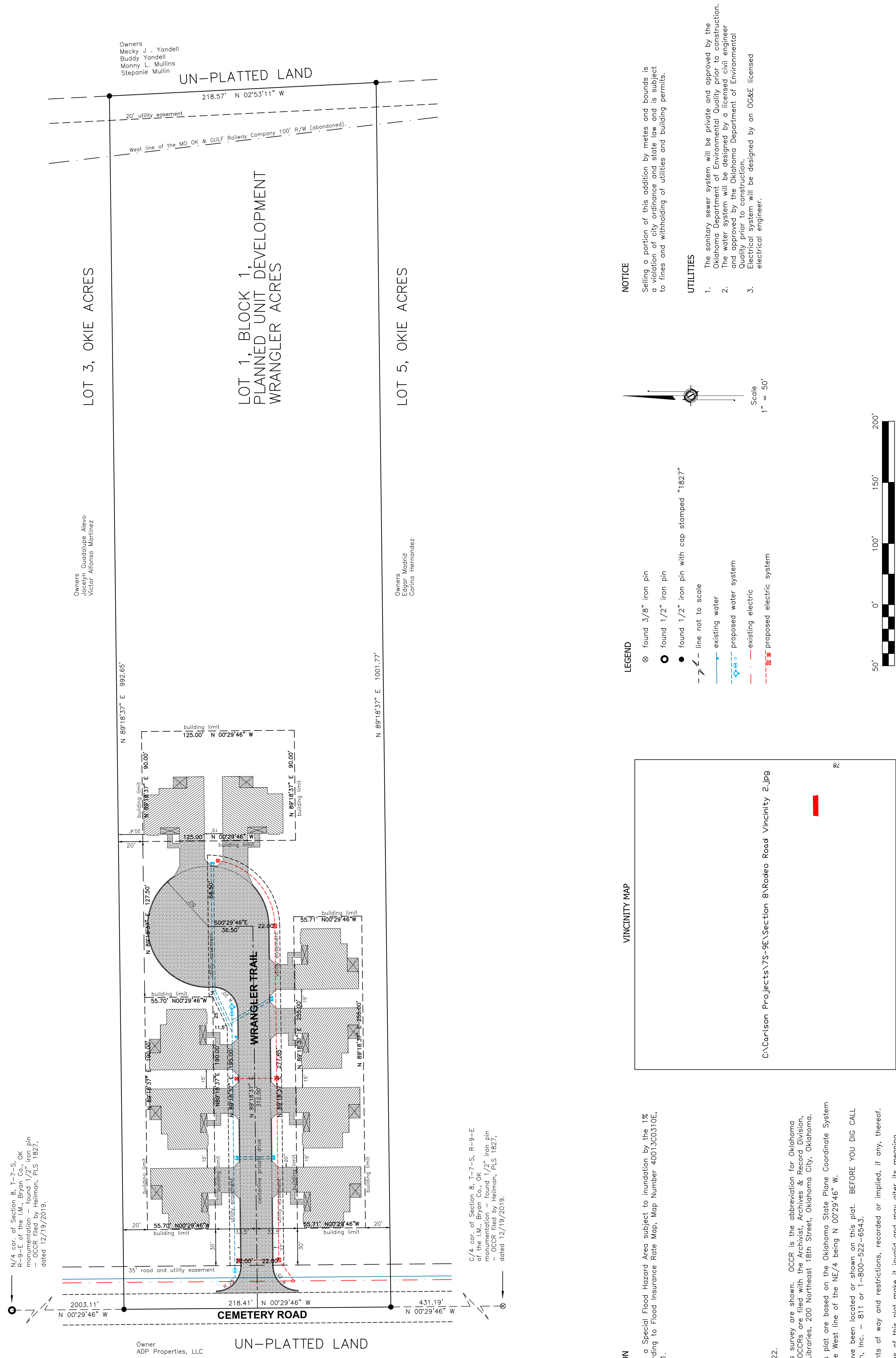
Pursuant to Durant subdivision regulations, this document was given approval by the Durant City Council at a meeting held on the day of _____, 2022. All of the conditions for approval having been met.

Date of execution _____, 2022

CERTIFICATE OF RECORDING

This document, number _____, filed for record _____ day of _____, 2022, at _____ in Plat Book _____.

County Clerk



FLOOD ZONE INFORMATION

Subject property is not in a Special Flood Hazard Area subject to inundation by the 1% annual chance flood according to Flood Insurance Rate Map, Map Number 40013C0310E, effective date 06/02/2011.

GENERAL NOTES

Survey conducted 03/01/22.

All bearings shown on this plat are based on the Oklahoma State Plane Coordinate System of 1983, South Zone. The West line of the NE/4 being N 00°29'46" W.

Subject to easements, rights of way and restrictions, recorded or implied if any, thereof.

§ 156.021 R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT.

The R-1 Single-Family District is established as a district in which the use of the land is for single-family dwellings, except as noted. It is the purpose and intent of this district to promote the development of and the continued use of the land for single-family dwellings and to prohibit commercial and industrial use or any other use which would substantially interfere with the development or continuation of single-family dwellings in this district. The intent is to further discourage any use in this district which would generate traffic or create congestion on neighborhood streets other than the normal traffic which serves the residents in the area. This district further encourages only those uses which because of character or size would not create additional requirements and costs for public services which are in excess of such requirements and costs if the district was not developed solely for single-family dwellings.

(Prior Code, § 157.021) (Ord. 1040, passed 4-12-1983)

PLANNED DEVELOPMENTS

§ 156.090 PUD PURPOSES.

(A) The purposes of Planned Unit Development are:

(1) To permit flexibility that will encourage a more creative approach in the development of land and will result in a more efficient use of open area or will facilitate orderly land use transitions, while maintaining density and area coverage permitted in the general zoning district or districts in which the project is located; and

(2) To permit flexibility in design, placement of buildings, and use of open spaces, circulation facilities, and off-street parking areas, and to best utilize the potential of sites characterized by special features of geography, topography, parcel size, or shape or proximity to sensitive land use areas.

(B) It is the intent of this section to provide for a change in the size of tracts in which a Planned Unit Development is permitted.

(1) Eligible properties must normally be two acres or larger in size (gross acreage).

(2) Slightly smaller parcels, between one and two acres, may be eligible, provided the applicant can show that the proposed Planned Unit Development can meet the intent and regulation of this subchapter without injury to the public health safety and welfare.

(C) In every instance, the PUD is to be reviewed as to the proposed location and character of the uses and the treatment of the development of the tract. The regulations of the general zoning district or districts remain applicable except as specifically modified pursuant to the provisions of this section. No modification of use or bulk and area requirements of the applicable general use district or districts shall be permitted unless a subdivision plat or replat incorporating the provisions and requirements of this section is submitted to and approved by the Planning Commission and the City Council and filed of record in the office of the County Clerk.

(Prior Code, § 157.070) (Ord. 1040, passed 4-12-1983; Ord. 1454, passed 11-9-2004)

§ 156.091 USES PERMITTED IN PUDS.

The primary uses in a Planned Unit Development shall be those permitted in the zoning districts involved or those uses permitted in more restrictive zoning districts (for example, in a commercial district, a Planned Unit Development could be dominated by shopping facilities or apartments, but in a multi-family residential district, the predominate land use would have to be housing). In predominantly residential PUDs, certain other principal uses, other than dwellings, which are permitted by right or exception in the residential districts may be included within a PUD, if such uses do not occupy more than 10% of the gross area of the PUD and are designed and located to be compatible with the residential uses of the PUD and with the residential use of adjacent properties. It is intended that the PUD provisions may be used as an alternative approach in the processing of all types of developments.

(Prior Code, § 157.071) (Ord. 1040, passed 4-12-1983)

§ 156.092 PUD ACCESSORY USES.

(A) Accessory uses customarily incident to the principal uses included within the PUD are permitted. Accessory signs shall comply with the provisions of the zoning districts, except as hereafter provided for accessory commercial uses.

(B) Within a PUD in a residential district, accessory commercial facilities may be included in accordance with the following provisions.

(1) In considering commercial uses as a part of a Planned Unit Development in a residential district, the Planning Commission shall consider:

(a) The relationship of the proposed commercial use to:

1. The land parcel (both as to boundary shape and topographic and other physical features);
2. The land and land uses outside the proposed development; and
3. The arrangement of the other portions of the proposed development.

(b) The nature of the commercial use included in the proposal.

(2) In developments proposing more than one business, the aggregate floor area of the commercial facilities shall not exceed 50 square feet per dwelling unit nor a total of 30,000 square feet.

(3) Each commercial establishment shall be limited to a maximum of 3,500 square feet of floor area.

(4) Commercial signs shall be limited to one nameplate or not more than 16 square feet for each establishment. Nameplates shall be attached flat against a building wall and shall not be animated, flashing, or have other than indirect illumination. Window signs shall not be permitted.

(5) The commercial area shall be designed primarily for the service, convenience, and benefit of the residents of the PUD. The Planning Commission may permit a commercial establishment designed to serve patrons both inside and outside

the development if it is determined that a land use problem is not likely upon consideration of the items listed in division (B) (1)(a) above.

(Prior Code, § 157.072) (Ord. 1040, passed 4-12-1983)

§ 156.093 PUD AREA REQUIREMENTS.

The space required in a Planned Unit Development project, including lot area, area per unit, and percent of lot coverage, exclusive of the area of public or private streets, shall meet the requirements of the districts wherein the project is located (as set out in § 156.022 of this chapter); provided, however, that upon a finding that the PUD proposal is so designed as to provide the best use of the land with, at the same time, a good and full protection of the public welfare and the general intent and spirit of the Comprehensive Plan and the zoning ordinance, the Planning Commission may award an increase in the density of development not to exceed 10% of that otherwise allowable in the districts in which the PUD is located. If the project area falls in two or more zoning districts, the space requirements of the project shall be established by calculating the requirements of the various districts as applied to the amount of area in each district. In a Planned Unit Development, all area used for development purposes, including recreating areas, open space areas, parking lots, and similar space may be counted as part of the aggregate development area for computation of space requirements. The area of Planned Unit Development shall be considered as one parcel regardless of the extent to which the area may be divided by interior streets or other features.

(Prior Code, § 157.073) (Ord. 1040, passed 4-12-1983)

§ 156.094 PUD HEIGHT REQUIREMENTS.

The height of buildings shall not be more than one and one-half times the distance between the building line and the edge of pavement of the nearest street. The building measurement shall be from the ground floor level to the eave or top of the vertical wall should there be no eave. The Planning Commission upon review of plans for a Planned Unit Development may approve buildings of greater height than otherwise permitted in the zoning district.

(Prior Code, § 157.074) (Ord. 1040, passed 4-12-1983)

§ 156.095 PUD PERIMETER REQUIREMENTS.

The building setback from the exterior boundaries of the PUD shall not be less than the minimum yards customarily required for the district or districts in which located; provided that within 200 feet of any abutting property in a residential district, structures exceeding ten feet in height measured from the ground floor to the eave or top of vertical wall if there is no eave shall conform to the setback requirements of the zoning district, plus two feet of setback for each one-foot of building height exceeding ten feet measured from the ground floor level to the eave or top of vertical wall if there is no eave. An unenclosed off-street parking area, containing five or more spaces, shall be screened from adjoining areas in a residential district by the erection of a screening wall, fence, or hedge of acceptable design along the lot line or lines in common with the residential district, provided that if the parking area is located more than 50 feet from the residential district, the Planning Commission may waive screening requirements.

(Prior Code, § 157.075) (Ord. 1040, passed 4-12-1983)

§ 156.096 PUD OFF-STREET PARKING AND LOADING.

Off-street parking and loading spaces shall be provided as specified for the applicable use. The Planning Commission may consider designs providing for reasonable sharing of parking spaces by land uses which have inherently compatible time demands for parking. Required spaces may be provided on the lot containing the units for which it is intended to serve or in common areas. A common parking area shall be designed and located so as to be accessible to the units it is intended to serve. Provisions for the ownership and maintenance of a common parking space as will ensure its continuity and conservation shall be incorporated in the subdivision plat.

(Prior Code, § 157.076) (Ord. 1040, passed 4-12-1983)

§ 156.097 ADMINISTRATION OF PUD.

(A) Procedural steps include:

- (1) Outline development plan;
- (2) Supplemental designation PUD; and
- (3) Subdivision plat.

(B) The following may apply for PUD.

(1) Any person, corporation, partnership, association, or combination thereof owning or possessing a property right or interest in or to a tract of not less than five acres in size may make application for the approval of an outline development plan as provided in divisions (B)(2) and (B)(3) below.

(2) Any person, corporation, partnership, association, or combination thereof owning or possessing a property right or interest in or to a tract of not less than one acre in size may make application for the supplemental district designation PUD. Such application shall be accompanied by an outline development plan processed in the manner set forth in this division (B)

(2) and divisions (C)(3) and (C)(4) below.

(3) In areas of existing development, any person, corporation, partnership, association, or combination thereof may propose the redevelopment or reuse of land through the processing of a PUD application. Due to the previous division of land areas in already developed areas, the Planning Commission shall determine if a proposed site is suitable for development as a PUD. The Planning Commission and City Council may place the supplemental designation PUD upon locations through the established zoning amendment process.

(C) An application for a Planned Unit Development shall be filed with the Planning Commission. The application shall be accompanied by the payment of a fee equal to that for rezoning applications which shall include advertising and sign costs. The application shall be in such form and content as the Planning Commission may by resolution establish, provided that three copies of an outline development plan shall accompany the filing of the application. The outline development plan shall consist of maps or text which contain:

- (1) Existing topographic character of the land and any topographic changes which are proposed;
- (2) Proposed land uses, including public uses and open space and the approximate location of buildings and other structures;
- (3) The character and approximate density of development. Density shall be expressed in numbers of dwelling units and quantitative areas of each identifiable segment of the development;
- (4) The approximate location of thoroughfares;
- (5) Sufficient surrounding area to demonstrate the relationship of the development to adjoining uses, both existing and proposed;
- (6) An explanation of the character of the planned development; and
- (7) The expected schedule of development.

(D) (1) The Planning Commission, upon the filing of an application for the supplemental district designation PUD or the filing of an application for the approval of an outline development plan, shall set the matter for public hearing and give 15 days' notice thereof by publication in a newspaper of general circulation. Where deemed necessary by the Planning Commission, additional notice shall be given by the posting of a sign or signs on the property. Within 60 days after the filing of an application, the Planning Commission shall conduct the public hearing and shall determine:

- (a) Whether the proposal is consistent with the Comprehensive Plan;
- (b) Whether the proposal harmonizes with the existing and expected development of surrounding areas;
- (c) Whether the proposal is a unified treatment of the development possibilities of the project site;
- (d) Whether the proposal would benefit orderly and proper development of the city; and
- (e) Whether the sidewalks and streets provide a traffic flow compatible with the development and surrounding street pattern.

(2) Where a supplemental district designation PUD is required for the processing of a Planned Unit Development, the Planning Commission shall forward its recommendation, the application, and the outline development plan to the City Council for further hearing as provided in divisions (D)(1)(d) and (D)(1)(3) above and this division (D)(2). Where Planned Unit Development may be processed without the supplemental designation PUD (five acres or larger), the Planning Commission shall approve, approve with modification, or disapprove the outline development plan. Approval by the Planning Commission shall be authorization for the processing of a subdivision plat incorporating the provisions of the outline development plan. The Planning Commission, upon approval of the outline development plan, may direct that a notation indicating the boundaries of the PUD be made on the zoning map.

(E) Upon receipt of the application, outline development plan, and Planning Commission recommendation, the City Council shall hold a hearing, review the outline development plan, approve, disapprove, modify, or return the outline development plan to the Planning Commission for further consideration. Upon approval, the zoning map shall be amended to reflect the supplemental designation PUD, and the applicant shall be authorized to process a subdivision plat incorporating the provisions of the outline development plan.

(F) A Planned Unit Development subdivision plat shall be filed with the Planning Commission and shall be processed in accordance with the subdivision regulations shall include:

- (1) Details as to the location of uses and street arrangement;
- (2) Provisions for the ownership and maintenance of any common open space as will reasonably ensure its continuity and conservation. Open space may be dedicated to a private association or to the public, provided that a dedication to the public shall not be accepted without the approval of the City Council; and
- (3) Such covenants as will reasonably ensure the continued compliance with the approved outline development plan. In order that the public interest may be protected, the city shall be made beneficiary of the covenants pertaining to such matters as location of uses, height of structures, setbacks, screening, and access. Such covenants shall provide that the city may enforce compliance therewith.

(G) After the filing of an approved PUD subdivision plat, and notice thereof to the Building Inspector, no building permits shall be issued on lands within the PUD except in accordance with the approved plat. A building permit in a residential PUD for a freestanding or separate commercial structure shall not be issued until significant progress has been made on other aspects of the proposed development as follows:

- (1) Completion of one-third of the noncommercial features in a project of less than five acres;
- (2) Completion of one-half of the noncommercial features in a project of more than five acres; and
- (3) The Commission has received a satisfactory progress report.

(H) Minor changes in the platted PUD may be authorized by the Planning Commission upon a review of a proposed amended subdivision plat, incorporating such changes, so long as substantial compliance is maintained with the outline development plan and the purposes and standards of the PUD provisions hereof. Changes which would represent a significant departure from the outline development plan shall require formal abandonment and the subsequent filing of a new application for a Planned Unit Development.

(I) Where a Planned Unit Development has been processed pursuant to the supplemental designation of PUD, its abandonment shall require the City Council's approval, after recommendation by the Planning Commission, of an application for amendment to the zoning map repealing the supplemental designation of PUD. Where a Planned Unit Development has been processed by reason of being more than ten acres, its abandonment shall require the approval of the Planning Commission and vacation of the plat.

(J) Any person aggrieved may appeal the final action of the Planning Commission on a proposed outline development plan or on a proposed subdivision plat to the district court by filing with the Secretary of the Planning Commission within ten days after the action appealed from a notice of appeal stating the grounds thereof. There shall be no right of appeal from any act of the Planning Commission taken in its advisory capacity to the City Council.

(Prior Code, § 157.077) (Ord. 1040, passed 4-12-1983)