

The City of Durant encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged in order to make the necessary accommodations. The City of Durant may waive the 48-hour rule if interpreters for the deaf (signing) or translation services for limited English proficient (LEP) individuals are not the necessary accommodation.

DURANT BOARD OF ADJUSTMENT

5:30 PM

**Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma
AGENDA**

March 24, 2022

CALL TO ORDER

INVOCATION/FLAG SALUTE

ROLL CALL

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

- a. Consider Approval of Regular Meeting Minutes of January 27, 2022

2. Consider Items Removed from Consent

3. Public Hearings

- a. BOA2022-03 Request by Perry Salisbury for a variance to §157.032 District Regulations pertaining to the setback requirements for property located at 3026 Meagan Avenue

4. New Business

ADJOURNMENT

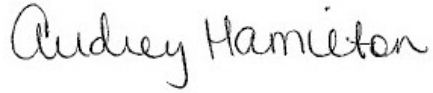
CERTIFICATE

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 19th day of November, 2021 and that an agenda of said meeting was posted at the place of such meeting at 09:00 a.m. on the 22nd day of March, 2022.

Audrey Hamilton

Audrey Hamilton, City of Durant

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 19th day of November, 2021 and that an agenda of said meeting was posted at the place of such meeting at 09:00 a.m. on the 25th day of January, 2022.



Audrey Hamilton, City of Durant

**MINUTES OF THE MEETING OF DURANT BOARD OF ADJUSTMENT
January 27, 2022 AT 5:30 PM, Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma**

CALL TO ORDER

Board of Adjustment Chair Rhynes called the meeting to order at 5:30 p.m.

INVOCATION/FLAG SALUTE

Board Member Jones provided the invocation. Board Chair Rhynes led the flag salute.

ROLL CALL

Present:

Board of Adjustment Chairman David Rhynes

Board of Adjustment Vice Chairman Mike Davis

Board Member Mike Allen

Board Member Wayne Jones

Board Member Conner Alford (appeared at 5:35 p.m.)

Absent:

None

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

a. Consider Approval of Regular Meeting Minutes of November 18, 2021

Motion was made by Board Member Jones and seconded by Board Member Allen to approve the minutes as presented.

Motion Passed with the following vote:

Ayes: Rhynes, Davis, Allen, Jones

Nays: None

Abstain: None

2. Consider Items Removed from Consent

3. Public Hearings

- a. BOA 2021-06 Request by Durant Independent School District (Washington Irving Elementary School) for a variance to §154.041 (C) (1) pertaining to the replacement of a nonconforming sign for property located at 812 W. Locust Street

Danielle O'Neal reviewed with the Board of Adjustment an application for a Variance from District Regulations as it pertains to a nonconforming sign for property located at 812 W Locust Street. The applicant approached staff regarding the desire to place an animated/moving sign at Washington Irving Elementary School. There is an existing lighted changeable letter sign that the applicant is wanting to replace the existing sign face to an animated/moving sign. The existing sign is considered nonconforming; however, a part of the nonconforming ordinance states the replacement of the sign would reduce visual clutter. Since the sign is going to an animated/moving sign, staff could not state that the replacement sign would reduce visual clutter. Therefore, the applicant is requesting a variance so they can replace the existing sign for an animated/moving sign. Notifications have been made to the surrounding property owners. At the time of this report, staff received a written response opposed to the request and a phone call stating they were for the request.

Duane Meredith, applicant, spoke in favor.

Motion was made by Board Member Alford and seconded by Board Member Jones to approve the request as presented.

Motion Passed with the following vote:

Ayes: Rhynes, Davis, Allen, Jones, Alford

Nays: None

Abstain: None

- b. BOA 2021-07 Request by Terry Bowler for a variance to §157.32 District Regulations pertaining to lot size requirements for property located at 2608 Rodeo Road

Danielle O'Neal reviewed with the Board of Adjustment an application for a Variance from District Regulations as it pertains to lot size requirements for property located at

2608 Rodeo Road. The applicant approached staff regarding the desire to place a manufactured home at the location; however, the current lot size does not meet the current requirements for the zoning type. Current requirements require a lot zoned A-1, General Agriculture to have a lot size minimum 5 acres. The lot in question is only 1 acre. The applicant is requesting a variance to the lot size requirements so he can place a manufactured home on the lot. Notifications have been made to the surrounding property owners. At the time of this report no letters or comments have been received by staff.

Terry Bowler, applicant, spoke in favor.

Motion was made by Board Member Alford and seconded by Board Member Allen to approve the request as presented.

Motion Passed with the following vote:

Ayes: Rhynes, Allen, Jones

Nays: Davis, Alford

Abstain: None

- c. BOA 2022-01 Request by Jose Narvaez for a variance to §157.032 District Regulations pertaining to lot size requirements for property located at 1415 W. Mississippi Street

Danielle O'Neal reviewed with the Board of Adjustment an application for a Variance from District Regulations as it pertains to lot size requirements for property located at 1415 W. Mississippi Street. The applicant approached staff regarding the desire to place a duplex style home at the location; however, the current lot size does not meet the current requirements for the zoning type. Current requirements for a lot zoned R-2, Two-Family Residential requires a lot area minimum of 8,000 square feet for a duplex/two-family home and requires a lot width at front building line of 80 feet. The lot does meet the lot area minimum, but does not meet the lot width at the front building line. Therefore, the applicant is requesting a variance to the lot size requirements in order to place a duplex type home on the lot. Notifications have been made to the surrounding property owners. At the time of this report staff has received one letter of support for this request.

Brian Moore, representative of applicant, spoke in favor.

Motion was made by Board Member Alford and seconded by Board Member Jones to approve a 10 foot variance which would allow a single family home.

Motion Passed with the following vote:

Ayes: Rhynes, Davis, Allen, Jones, Alford

Nays: None

Abstain: None

- d. BOA 2022-02 Request by Texoma Victory Real Property Investment LLC for a variance to §157.032 District Regulations pertaining to the front setback requirements for property located near West Main Street and State Highway 70

Danielle O'Neal reviewed with the Board of Adjustment an application for a Variance from District Regulations as it pertains the front setback for property located near State Highway 70 and West Main. The applicant went through the Preliminary Plat process for Phase II of the Durant Victory Subdivision in July, 2021. The original Preliminary Plat called for the front setbacks for lots 1-11 and lots 26-27 to be at 15 feet. The Planning Commission and City Council approved the preliminary plat with these lots having setbacks at 25 feet as required by the District Regulations. The application approached staff regarding the desire to ask for a variance for the setbacks of lots 1-11 and lots 26-27 to be at 15 feet. Lots 1 through 11 face Pluto Road and Mars Avenue. Lots 26-27 will face Venus Road. The applicants engineer states in a letter attached with the application that there is a 30-foot gas easement that runs on the back of lots 1-4 and a 50-foot gas easement that runs along the back of lots 5-11, causing a reduction in the buildable area of these lots. For lots 26 and 27, the letter is requesting the setbacks to match those within phase I lots 1-16, which received a variance last year. The applicant is asking for a variance of 10 feet on the front setback in order to have a similar buildable area as phase I of the development. Notifications have been made to the surrounding property owners. At the time of this report no letters or comments have been received by staff.

Henry Qu, applicant, spoke in favor.

Motion was made by Board Member Alford and seconded by Board Member Allen to approve a variance for a front setback of 15 feet for lots 1-11 and 26-27.

Motion Passed with the following vote:

Ayes: Rhynes, Allen, Jones, Alford

Nays: None

Abstain: Davis

4. New Business

There was no new business.

ADJOURNMENT

Board Chair Rhynes adjourned the meeting.



THE CITY OF DURANT

Office of Community Development

Date: 03/24/2022
To: Board of Adjustment
Case: BOA 2022-03
From: Danielle O'Neal, Community Development Director
Re: Request by Perry Salisbury for a variance to §157.032 District Regulations pertaining to setback requirements for property located at 3025 Meagan Avenue.

Request: Perry Salisbury is asking for a variance to §157.032 District Regulations pertaining to setback requirements for property located at 3025 Megan Avenue.

Current Zoning: R-1, Single Family Residential

Surrounding Properties:

Direction	Zoning	Use
North	R-1	Residential
East	R-1	Vacant Lot
South	R-1	Residential
West	R-1	Residential

Lot Characteristics

Width	~92 ft.
Depth	~180 ft.
Total Area	~0.38 acre (~16,500 sq. ft.)

Background: The applicant approached staff regarding the desire to place a single family home at the above location; however, the design of the house that was purposed goes into the front / rear setback of the property. The plans for the house show the house to be approximately 4,200 square feet. Therefore, the property owner has requested to go through the variance process. Current front setback requirements for a lot zoned as R-1, Single Family Residential is 30 feet and the rear setback is 20 feet.

Notifications have been made to the surrounding property owners. At the time of this report, staff has not received any letters or comment cards regarding this request.

Analysis: §157.30 of the City of Durant Code of Ordinances states the following with regards to a variance, and should be taken into consideration when making a decision.

“A variance from the terms, standards and criteria that pertain to an allowed use category within a zoning district as authorized by the Zoning Ordinance may be granted, in whole, in part or upon reasonable conditions as provided herein, only upon a finding by the Board of Adjustment that:

- (A) The application of the ordinance to the particular piece of property would create an unnecessary hardship or result in exceptional practical difficulties;*
- (B) The conditions are peculiar to the particular piece of property involved;*
- (C) Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the ordinance or the Comprehensive Plan; and*
- (D) The variance, if granted, would be the minimum necessary to alleviate the unnecessary hardship.*

The following is the ordinance language regarding lot size requirements:

§ 156.035 DISTRICT REGULATIONS.

No lot or yard shall be established in any district that does not meet the minimum requirements set forth in the following table. No building or structure shall be erected or enlarged to exceed these regulations, except as elsewhere provided in these regulations.

Zoning Districts	Lot Area Minimum	Lot Width at Front	Building Coverage (%)	Impervious Coverage (%)	Front (B)	Yards Min. Setback Side Interior		Exter	Re	Height Maximum
						Adj. Res. District	Adj. Non-Res. District			
A-1 Agriculture	5 acres	150'	30% including accessory building		50'	25'	25'	25'	50'	35'
R-1 Single-Family Residential	8,400 sq. ft.	70'	30%	None	30' including double frontage	5' ^c	5' ^c	15'	20'	35'

Notes:

C For buildings of more than one story, the minimum width of the side yard on all lots shall be not less than 10 feet. On a lot where the principal use is a nonresidential building there shall be a side yard of not less than one-half the height of the building but in no case less than 15 feet.

E A building or structure may exceed the maximum height regulations by adding one foot onto the required front, side and rear yards for each two feet of additional height.

The Future Land Use Map has this area as Low to Medium Density Residential; therefore, the use is in line with the Future Land Use Map. Parking requirements do require two parking spots.

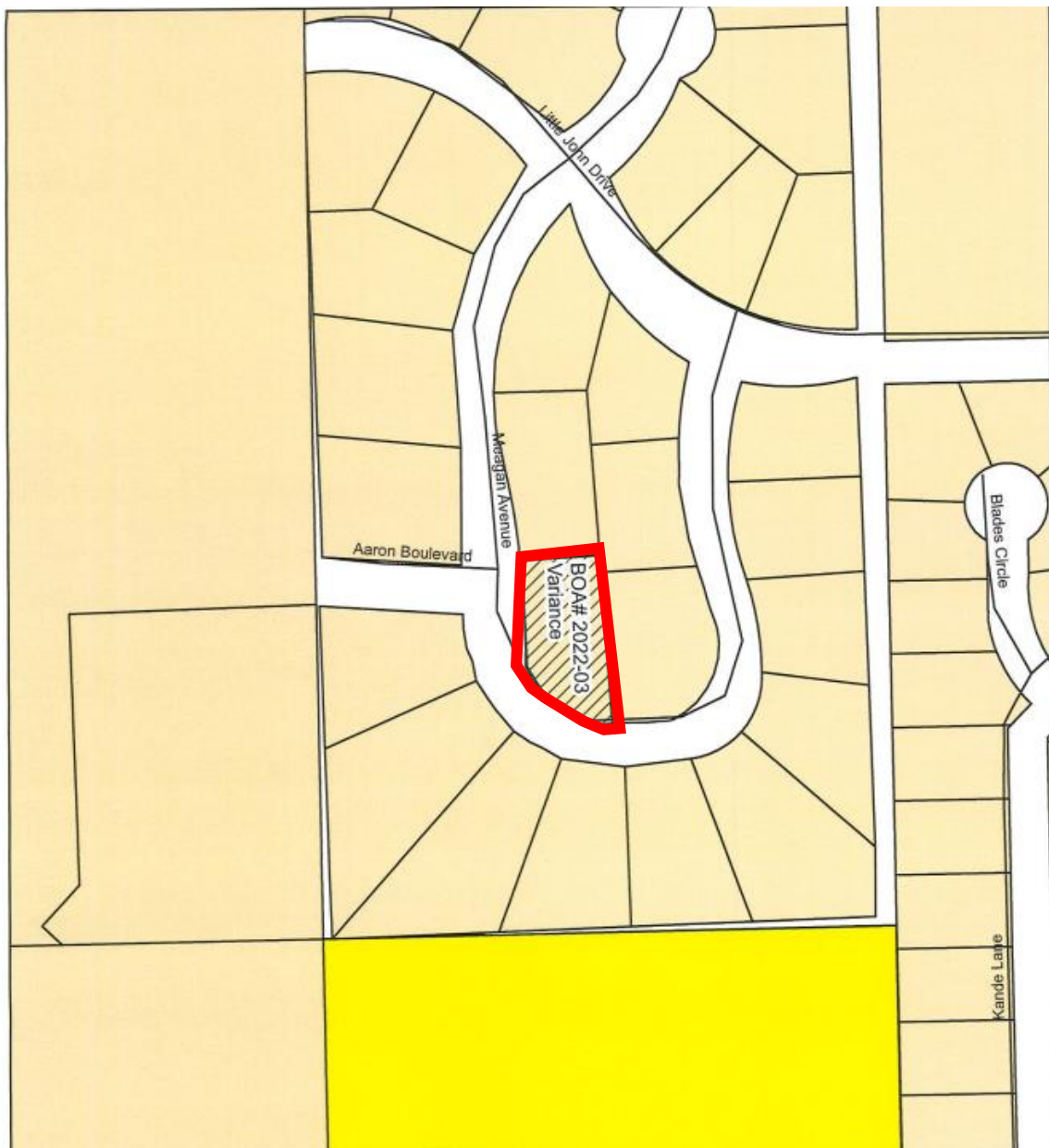
Staff Recommendation: While staff does not have a problem with a single family residential house being built on the lot, staff's only concern would be if the request meets all of the requirements in order to grant a variance.

Required Action: Hold a public hearing and approve or deny the variance to the setback requirements in order to place the designed house on the lot. Any specific conditions imposed by the Board should be read into the any approval motion.

Aerial Maps

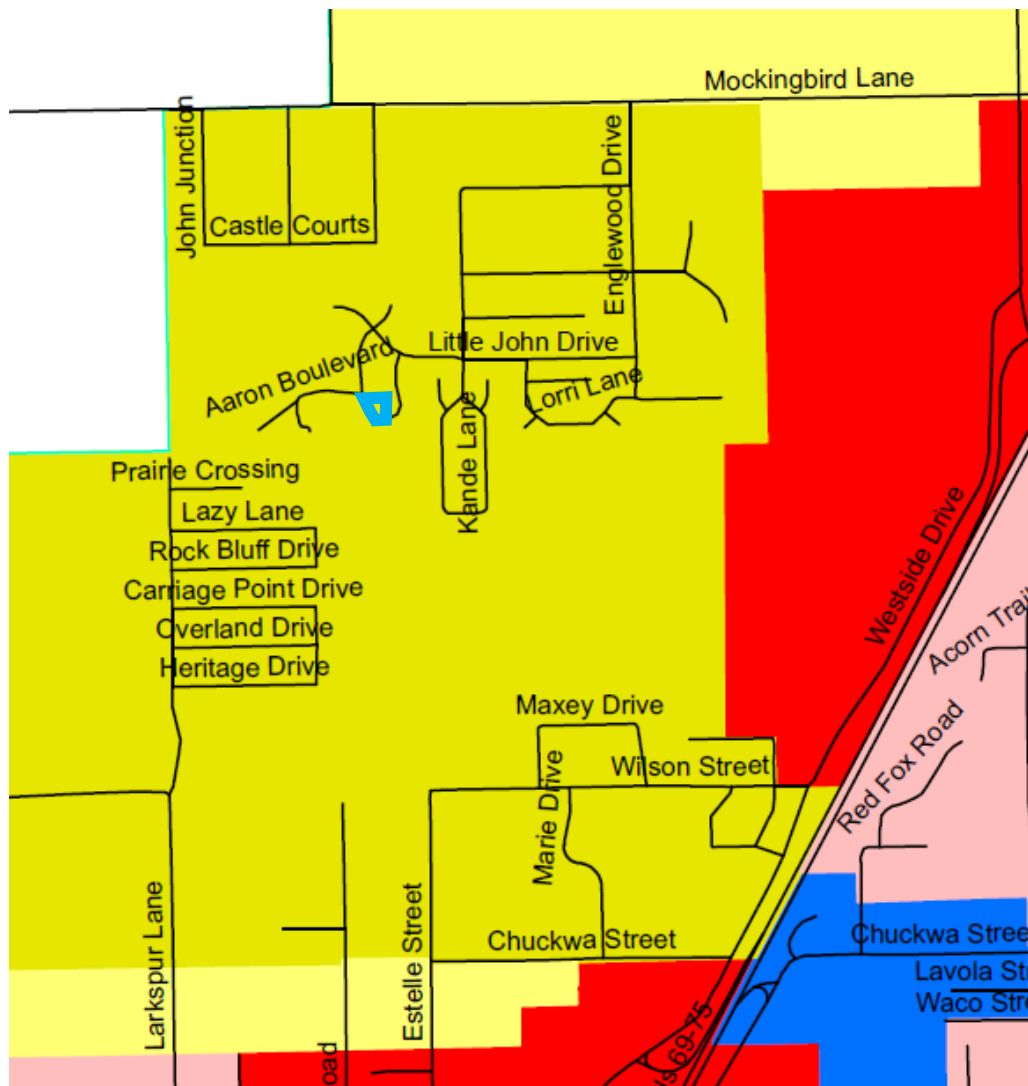


Zoning Map



- A1 - Agriculture
- C0 - Professional & Business Office
- C1 - Convenient Commercial
- C2 - Highway Commercial
- C3 - General Commercial
- CBD - Central Business District
- H1 - Health Facilities
- I1 - Light Industrial
- I2 - Medium Industrial
- R1 - Single Family Residential
- R2 - Two Family Residential
- R3 - General Residential - Multi-Family

Future Land Use Map



Location is approximate

Future Land Use





THE CITY OF DURANT

Office of Community Development

Board of Adjustment Application

Petition # BOA 2022-03 Fee \$ 300

Name: <u>PERRY SALISBURY</u>	Email: <u>SALISBURY Nick 204/444-1.com</u>	Phone #1
Mailing Address: <u>1005 DIVISION</u>		Phone #2
City: <u>GREENVIEW TX</u>	State: <u>TX</u>	Fax #
Zip: <u>75401</u>		
Applicant's Interest in Property:		

1. I, the undersigned, request a hearing before the Board of Adjustment, in regard to the following:

- ☐ Appeal Of The Zoning Administrator's decision/Interpretation
- ☐ Change From One Nonconforming Use To Another Nonconforming Use
- ☒ Variance

2. Description of request being made (indicate appropriate section or subsections of the local zoning ordinance, where applicable):

NEED A VARIANCE
BUILDING HOUSE THAT WILL BE IN SET
BACK

3. Reasons for request (may be attached):

4. Legal description (if applicable, may be attached): BLOCK 3 - LOTS 11ADISON
RIDGE - PHASE 1

5. Is site plan attached (if determined necessary by the administrative official) containing the applicable requirements of the local zoning ordinance?

Yes ☒ No ☐

6. Location of property: 3026 MEAGAN Present Zoning:

7. The foregoing information and attachments are true and accurate to the best of my knowledge:

Applicant (Signature)

Date

Jan 21 2022

Date Filed	Date Payment Received	Notification Mailed	Comments
Initial	Initial	Date Initial	
Proof of Publication Received		Property Posting Verified	Comprehensive Plan Recommendations
Date	Initial	Date	
Staff Recommendation	PC Recommendation	City Council Action	Ordinance #
☐ Approve ☐ Deny	☐ Approve ☐ Deny	☐ Approve ☐ Deny	



THE CITY OF DURANT

Office of Community Development

full application
Jan. 31 @ noon

Explanation of Procedures for Board of Adjustment

1. The City of Durant Zoning Ordinance requires Board of Adjustment applicants to submit with their applications a certified list of the names and addresses of all property owners of record within three hundred (300) feet of their radiuses which may be obtained from a Bonded Abstract Company. A map detailing the three hundred (300) foot notice area can be furnished by the Community Development Department to be used to complete the ownership list if required and if requested by the applicant.
2. Contact Community Development to set up a pre-development meeting prior to submitting an application.
3. The applicant is responsible for providing an accurate legal description of the property in question, which can be obtained by a bonded abstractor or licensed surveyor.
4. Complete the Board of Adjustment application, and bring it and the above-required material to the Community Development Department at 300 W. Evergreen, located in City Hall. The Community Development Staff will make sure your application is complete and will calculate the filing fee according to the following schedule.
 - Board of Adjustment: \$300.00 plus cost of publication.
5. Your application, along with the filing fee, must be filed at the Community Development Department before noon (12:00 p.m.), twenty-five (25) days prior to the next Board of Adjustment meeting
6. After your application and required materials are filed, legal notice of the request will be published in the Durant Daily Democrat, as required by State Law. You are responsible for the cost of publication. Also at this time, every property owner within three hundred (300) feet of the exterior boundaries of your variance request will be notified by letter, as required by State Law. These owners, and any other citizens, may protest if they so desire. Should the owners of fifty percent (50%) of the land within the notice area protest your request, it will take an affirmative vote of three (3) of the five (5) members of the Board of Adjustment to grant your request.
7. The applicant for the variance/exemption request must be the property owner. Please contact the Community Development Director for any questions.
8. The Development Staff will research and analyze your request and prepare a staff report with recommendations, which will be delivered to each Board of Adjustment Member.
9. At the next scheduled Board of Adjustment meeting (the Fourth Thursday of each month), your request will be considered at a public hearing. You will be sent notice of this meeting and you or your representative should be present. Staff will introduce your request, and you and any interested citizens will have the opportunity to speak to the Board concerning your request.
10. At the conclusion of your request the Board of Adjustment, by majority vote, will approve or deny your requested variance/exception.

The Board of Adjustment meetings are held in the Roscoe J. Hatfield, Council Chambers, Durant City Hall, 300 West Evergreen St., Durant, Oklahoma. If you have any further questions, please call the Community Development Department at 580-931-6610.

The variance process is independent from all other site development processes. All other applicable building and use permits must be obtained prior to construction. Please check with the Community Development Department concerning additional development requirement.

refile

1-2017-700373 Book 1455 Pg: 604
12/07/2017 1:08 pm Pg 0604-0605
Fee: \$ 15.00 Doc: \$ 0.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

1-2015-678031 Book 1388 Pg: 425
05/26/2015 9:29 am Pg 0425-0426
Fee: \$ 15.00 Doc: \$ 0.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma



~~Re-filing~~ Re-filing
to correct date

Recording requested by: _____

Space above reserved for use by Recorder's Office

When recorded, mail to:

Document prepared by:

Name: PERRY E. SALISBURY

Name _____

Address: 801 Autumn Hill

Address _____

City/State/Zip: WYLLIE, TEXAS 75098

City/State/Zip _____

Property Tax Parcel/Account Number: A-161-00-003-0-000-00

MADISON RIDGE PHASE 1, ADDITION TO DURANT LT 3 BLK 3

Quitclaim Deed

This Quitclaim Deed is made on MAY 09 2015, between

DOROTHY LEE SALISBURY, Grantor, of 801 Autumn Hill
Single, City of WYLLIE, State of TEXAS,
and PERRY E. SALISBURY, Grantee, of 801 Autumn Hill
Single, City of WYLLIE, State of TEXAS 75098

For valuable consideration, the Grantor hereby quitclaims and transfers all right, title, and interest held by the Grantor in the following described real estate and improvements to the Grantee, and his or her heirs and assigns, to have and hold forever, located at MADISON RIDGE PHASE 1, ADD. TO DURANT
LT 3, BLK 3, City of DURANT, State of OKLAHOMA:
MADISON RIDGE PHASE 1, ADDITION TO DURANT
LOT 3 BLOCK 3

Subject to all easements, rights of way, protective covenants, and mineral reservations of record, if any.

Taxes for the tax year of 2015 shall be prorated between the Grantor and Grantee as of the date of recording of this deed.

Quitclaim Deed Pg.1 (11-12)

Dated: MAY 21 2015

Dorothy Salisbury
Signature of Grantor

DOROTHY LEE SALISBURY
Name of Grantor

Signature of Witness #1

Printed Name of Witness #1

Signature of Witness #2

Printed Name of Witness #2

State of Texas County of Collin
On May 21, 2015, the Grantor, Dorothy Salisbury - Single
personally came before me and, being duly sworn, did state and prove that he/she is the person described Person
in the above document and that he/she signed the above document in my presence.

Robin M Gray
Notary Signature

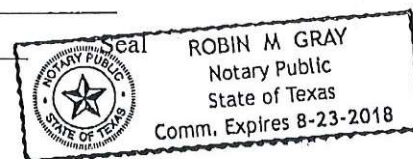
Notary Public,

In and for the County of Collin State of Texas

My commission expires: 8-23-18

Send all tax statements to Grantee.

I-2015-678031 Book 1388 Pg: 426
05/26/2015 9:29 am Pg 0425-0426
Fee: \$ 15.00 Doc: \$ 0.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma



Quitclaim Deed Pg. 2 (11-12)
I-2017-700373 Book 1455 Pg: 605
12/07/2017 1:08 pm Pg 0604-0605
Fee: \$ 15.00 Doc: \$ 0.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

STATE OF TEXAS

CERTIFICATION OF VITAL RECORD

DEPARTMENT OF STATE HEALTH SERVICES VITAL STATISTICS

TEXAS DEPARTMENT OF STATE HEALTH SERVICES - VITAL STATISTICS
Jun 03 2020

STATE OF TEXAS

CERTIFICATE OF DEATH

STATE FILE NUMBER

142-20-087785

1. LEGAL NAME OF DECEASED (Include AKA's, if any) (First, Middle, Last)				2. DATE OF DEATH - ACTUAL OR PRESUMED (mm-dd-yyyy)	
DOROTHY LEE SALISBURY				MAY 31, 2020	
3. SEX	4. DATE OF BIRTH (mm-dd-yyyy)	5. AGE Last Birthday (Years)	6. BIRTHPLACE (City & State or Foreign Country)		
FEMALE	SEPTEMBER 11, 1924	95	FRISCO, TX		
7. SOCIAL SECURITY NUMBER		8. MARITAL STATUS AT TIME OF DEATH		9. SURVIVING SPOUSE'S NAME (If spouse, give name prior to first marriage)	
460-22-7598		☐ Married ☒ Widowed (but not remarried) ☐ Divorced (but not remarried) ☐ Never Married ☐ Unknown			
10a. RESIDENCE STREET ADDRESS			10b. APT. NO.	10c. CITY OR TOWN	
225 E. RALPH HALL PKWY				ROCKWALL	
10d. COUNTY		10e. STATE	10f. ZIP CODE	10g. INSIDE CITY LIMITS?	
ROCKWALL		TEXAS	75087	☒ Yes ☐ No	
11. FATHER/PARENT 2 NAME PRIOR TO FIRST MARRIAGE			12. MOTHER/PARENT 1 NAME PRIOR TO FIRST MARRIAGE		
WILLIE LEE KELSEY			VERA LEE HUME		
13. PLACE OF DEATH (CHECK ONLY ONE)					
☐ Inpatient ☐ ER/Outpatient ☐ DOA ☐ Hospice Facility ☒ Nursing Home ☐ Decedent's Home ☐ Other (Specify)					
14. COUNTY OF DEATH		15. CITY/TOWN, ZIP (IF OUTSIDE CITY LIMITS, GIVE PRECINCT NO)		16. FACILITY NAME (If not Institution, give street address)	
ROCKWALL		ROCKWALL, 75032		REVERE COURT OF ROCKWALL	
17. INFORMANT'S NAME & RELATIONSHIP TO DECEASED			18. MAILING ADDRESS OF INFORMANT (Street and Number, City, State, Zip Code)		
PERRY EARL SALISBURY - SON			1005 DIVISION, GREENVILLE, TX 75401		
19. METHOD OF DISPOSITION		20. SIGNATURE AND LICENSE NUMBER OF FUNERAL DIRECTOR OR PERSON ACTING AS SUCH		21. Section FLAG WEST	
☒ Burial ☐ Cremation ☐ Donation ☐ Entombment ☐ Removal from state ☐ Mausoleum ☐ Other (Specify)		KAREN L. HIETT, BY ELECTRONIC SIGNATURE - 112683			
22. PLACE OF DISPOSITION (Name of cemetery, crematory, other place)			23. LOCATION (City/Town, and State)		
WHITE ROSE CEMETERY			WILLS POINT, TX		
24. NAME OF FUNERAL FACILITY			25. COMPLETE ADDRESS OF FUNERAL FACILITY (Street and Number, City, State, Zip Code)		
HIETT'S LYBRAND FUNERAL HOME - WILLS POINT			1701 E. GOODNIGHT BLVD, WILLS POINT, TX 75169		
26. CERTIFIER (Check only one)					
☒ Certifying physician-To the best of my knowledge, death occurred due to the cause(s) and manner stated. ☐ Medical Examiner/Justice of the Peace - On the basis of examination, and/or investigation, in my opinion, death occurred at the time, date and place, and due to the cause(s) and manner stated.					
27. SIGNATURE OF CERTIFIER		28. DATE CERTIFIED (mm-dd-yyyy)	29. LICENSE NUMBER	30. TIME OF DEATH (Actual or presumed)	
SUNANDA CHERUKURI, BY ELECTRONIC SIGNATURE		JUNE 2, 2020	L2841	02:00 AM	
31. PRINTED NAME, ADDRESS OF CERTIFIER (Street and Number, City, State, Zip Code)				32. TITLE OF CERTIFIER	
SUNANDA CHERUKURI, 3900 W. 15TH STREET, SUITE 205, PLANO, TX 75075				MD, PA	
33. PART 1. ENTER THE CHAIN OF EVENTS - DISEASES, INJURIES, OR COMPLICATIONS - THAT DIRECTLY CAUSED THE DEATH. DO NOT ENTER TERMINAL EVENTS SUCH AS CARDIAC ARREST, RESPIRATORY ARREST, OR VENTRICULAR FIBRILLATION WITHOUT SHOWING THE ETIOLOGY. DO NOT ABBREVIATE. ENTER ONLY ONE CAUSE ON EACH.					
IMMEDIATE CAUSE (Final disease or condition resulting in death):					
a. CHRONIC DIASTOLIC HEART FAILURE					
Due to (or as a consequence of):					
b.					
Due to (or as a consequence of):					
c.					
Due to (or as a consequence of):					
d.					
PART 2. ENTER OTHER CAUSE GIVEN IN PART 1.					
34. WAS AN AUTOPSY PERFORMED?					
☐ Yes ☒ No					
35. WERE AUTOPSY FINDINGS AVAILABLE TO COMPLETE THE CAUSE OF DEATH?					
☐ Yes ☐ No					
36. MANNER OF DEATH		37. DID TOBACCO USE CONTRIBUTE TO DEATH?		38. IF FEMALE:	
☒ Natural ☐ Accident ☐ Suicide ☐ Homicide ☐ Pending Investigation ☐ Could not be determined		☐ Yes ☐ No ☐ Previously ☐ Probably ☒ Unknown		☐ Not pregnant within past year ☐ Pregnant at time of death ☐ Not pregnant, but pregnant within 42 days of death ☐ Not pregnant, but pregnant 43 days to one year before death ☐ Unknown if pregnant within the past year	
39. IF TRANSPORTATION INJURY, SPECIFY:					
☐ Driver/Operator ☐ Passenger ☐ Pedestrian ☐ Other (Specify)					
40a. DATE OF INJURY (mm-dd-yyyy)	40b. TIME OF INJURY	40c. INJURY AT WORK?	40d. PLACE OF INJURY (e.g. Decedent's home, construction site, restaurant, wooded area)		
		☐ Yes ☐ No			
40e. LOCATION (Street and Number, City, State, Zip Code)					
40f. COUNTY OF INJURY					
41. DESCRIBE HOW INJURY OCCURRED					
42a. REGISTRAR FILE NO.	42b. DATE RECEIVED BY LOCAL REGISTRAR	42c. REGISTRAR			
01000365	JUNE 3, 2020	Tara Das			

EDR NUMBER 00004444735435

This is a true and correct copy of the record as registered in the State of Texas. Issued under the authority of Section 191.051, Health and Safety Code.

ISSUED Jun 04 2020

WARNING: THIS DOCUMENT HAS A DARK BLUE BORDER AND A COLORED BACKGROUND

ANY ALTERATION OR ERASURE VOIDS THIS CERTIFICATE

JON



Page 17 of 25

SCALE
1" = 40'

MEAGAN AVENUE

BLOCK 3

N

U

N 86°42'54" E 111.51'

5' BUILDING LINE

74.33' N 00°29'26" W

22.9'

20.0'

20.0'

24.1'

PROPOSED HOUSE

24.8'

20.5'

20.5'

S 03°17'06" E 200.00'

20' BUILDING LINE

10' UTILITY EASEMENT

30' BUILDING LINE

10' UTILITY EASEMENT

L=189.62'
R=120.00'
CB=N 45°45'34" W
CL=170.50'

CB=N

N

N

N

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LEGEND

	BOUNDARY LINE
	PROPERTY LINE
	EASEMENT LINE
	BUILDING LINE

PLOT PLAN
LOT 3, BLOCK 3
MADISON RIDGE, PHASE 1
TBD MEAGAN AVENUE
DURANT, OKLAHOMA

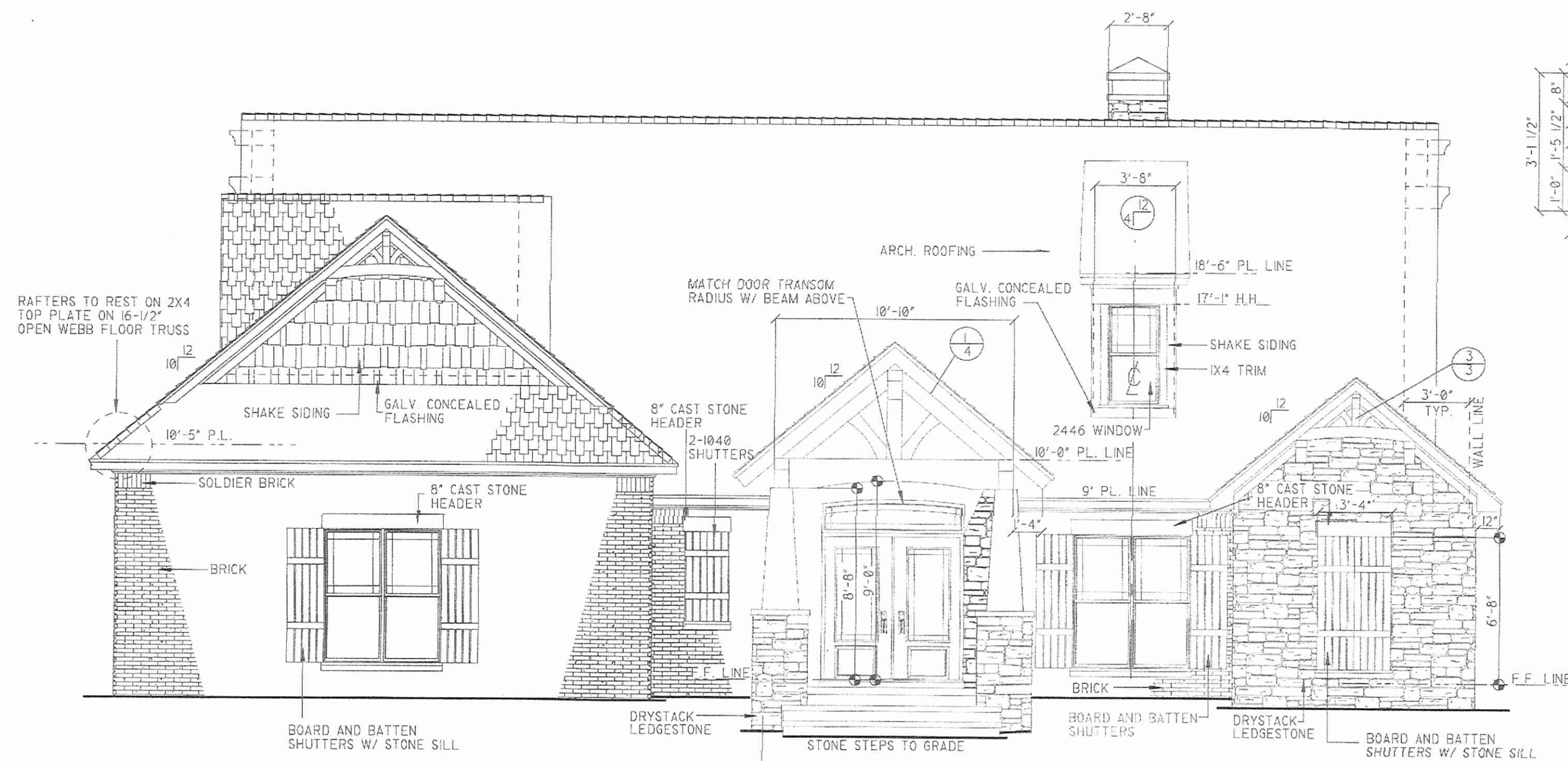


DRAFTING & SURVEYING

801 W. MAIN ST, SUITE D

DURANT, OKLAHOMA 74701

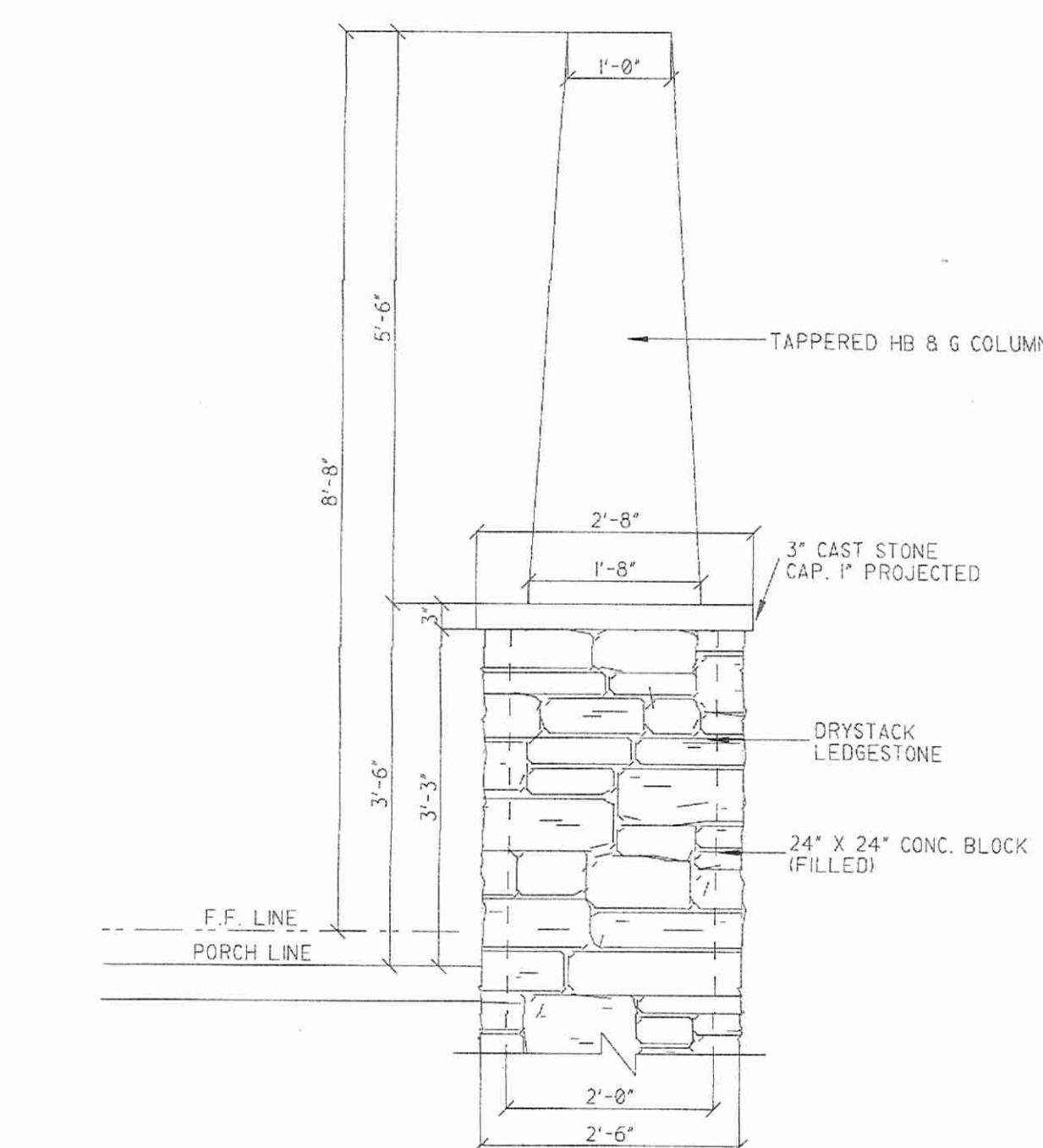
(580)924-2251



FRONT ELEVATION



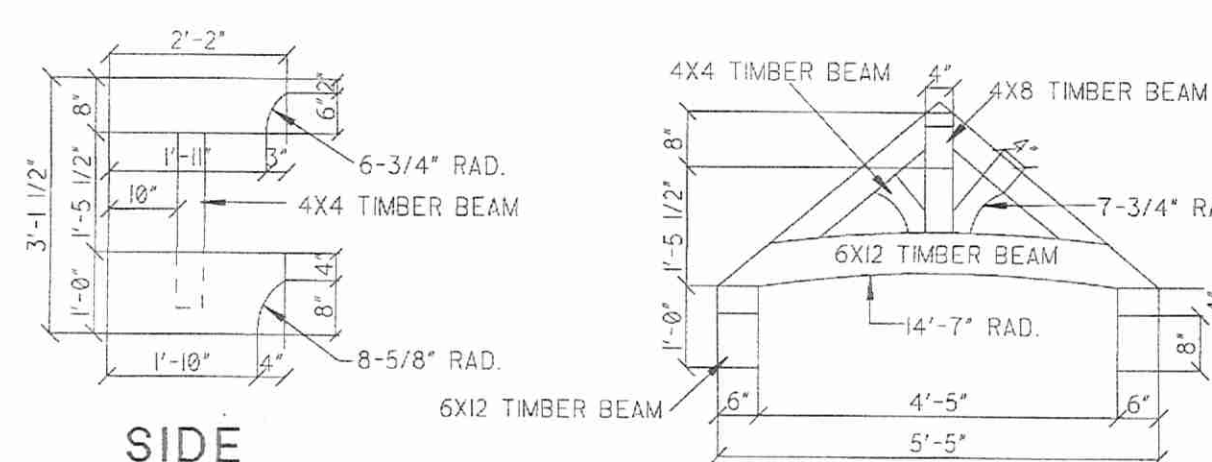
REAR ELEVATION



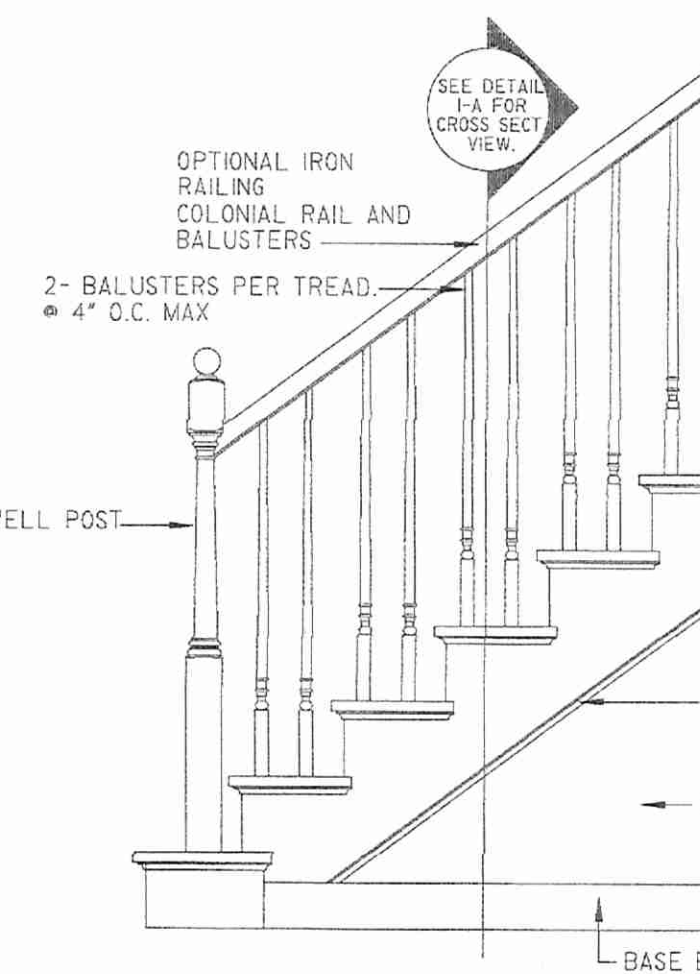
② TAPERED COLUMN DETAIL
SCALE 3/4\"/>

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE AND SHALL BE PRIMED AND PAINTED TO MATCH ROOF COLOR.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

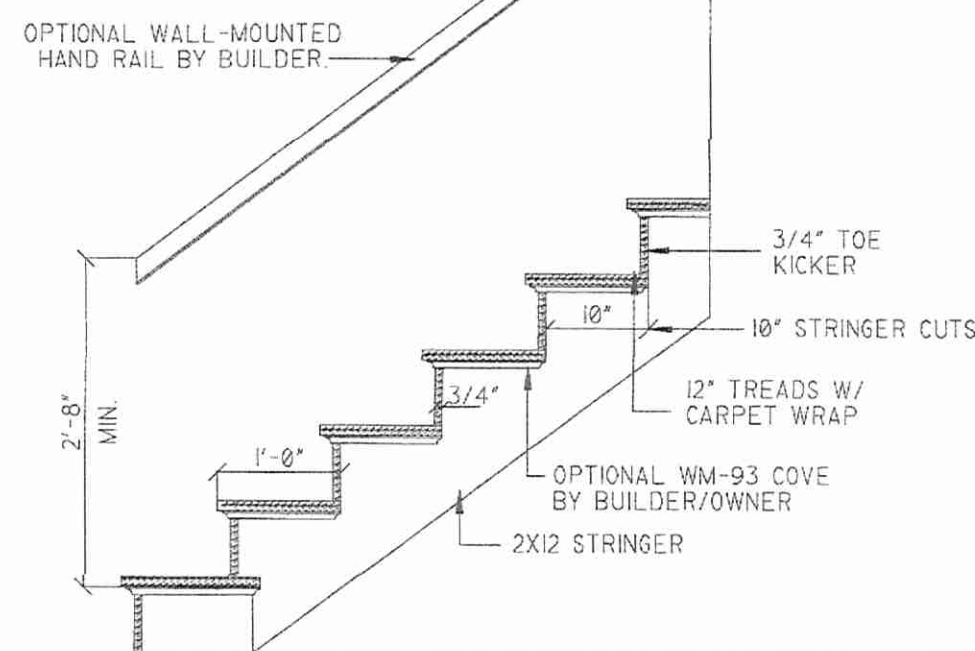


③ TYP. GABLE BRACKET DETAIL
1/2\"/>

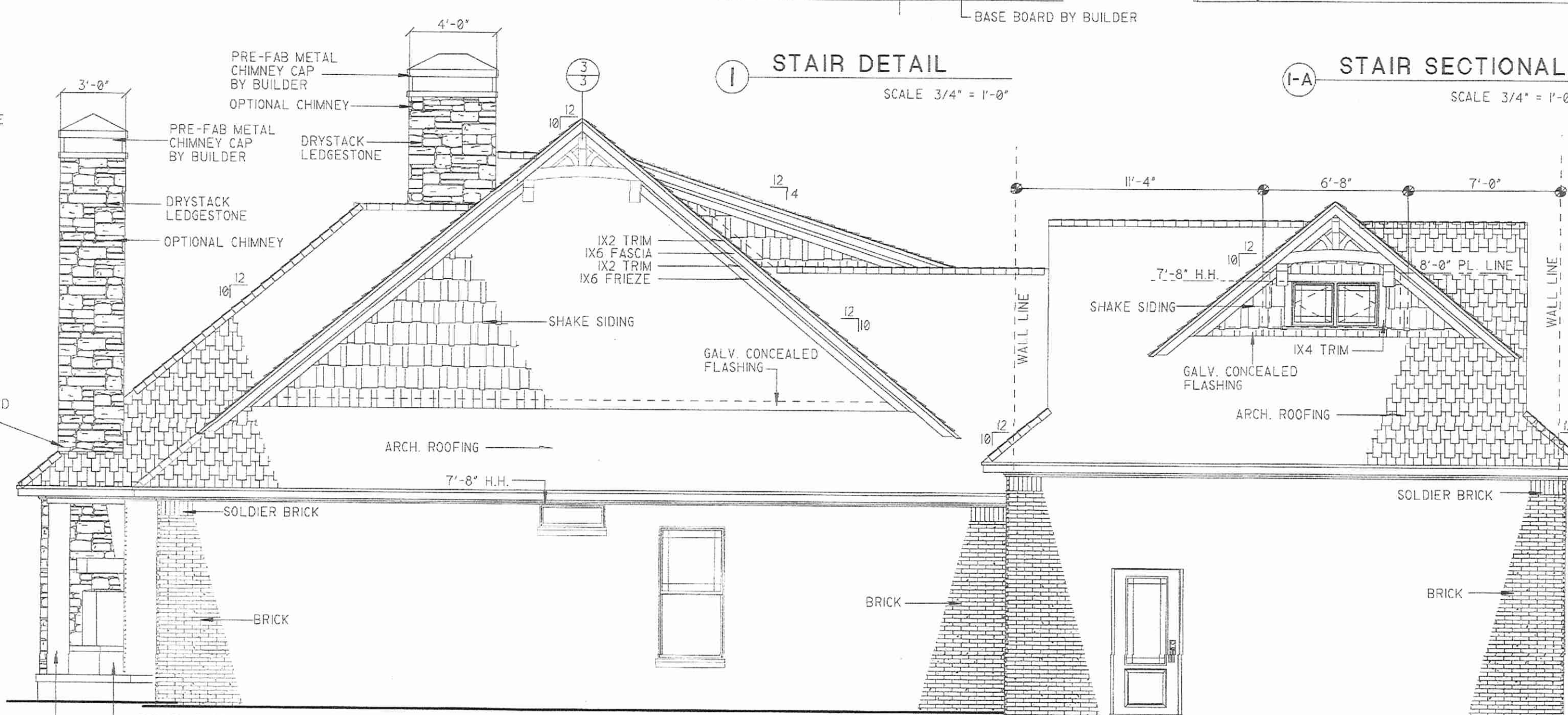


① STAIR DETAIL
SCALE 3/4\"/>

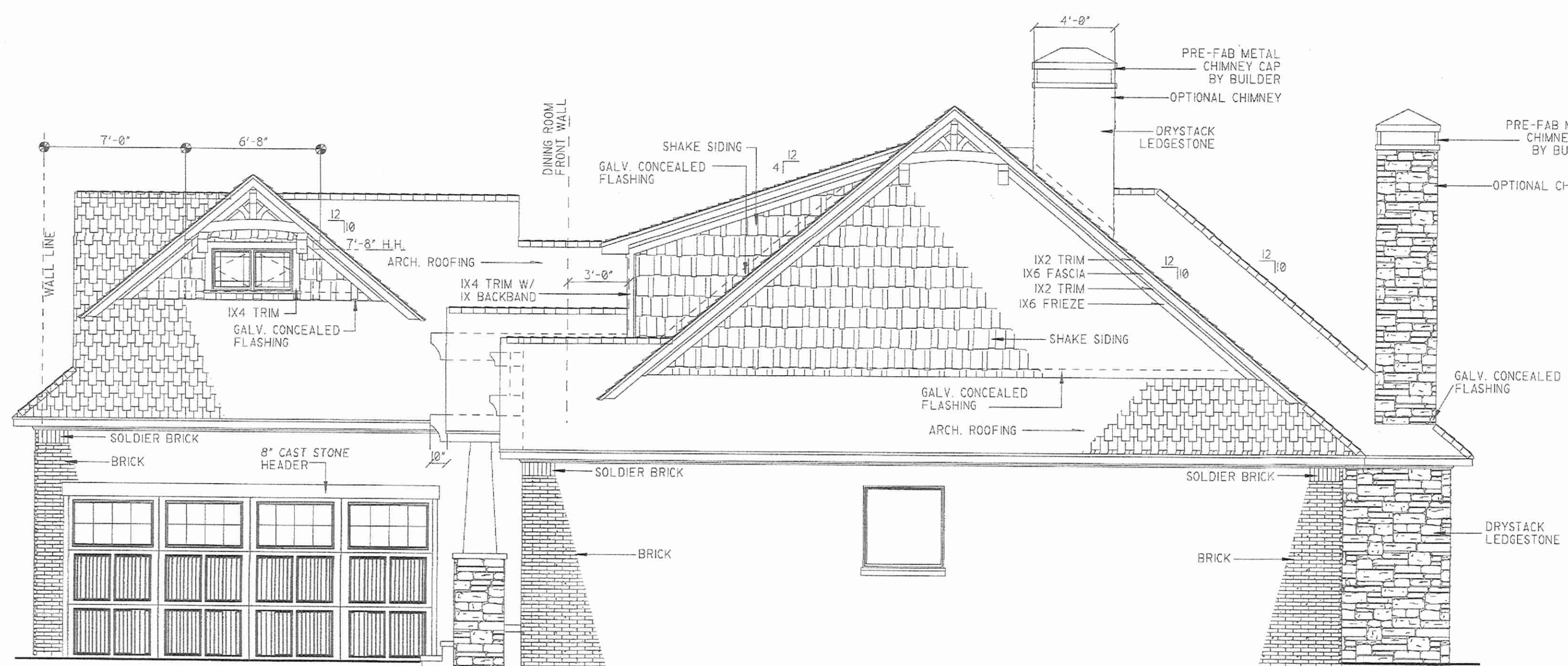
NOTE:
STAIR RISE HEIGHT AND RUN DISTANCE ARE NOT SPECIFIED ON THIS DETAIL AND SECTION. FOR RISE AND RUN SPECS. REFER TO FLOOR PLAN.



①-A STAIR SECTIONAL
SCALE 3/4\"/>



LEFT ELEVATION



RIGHT ELEVATION

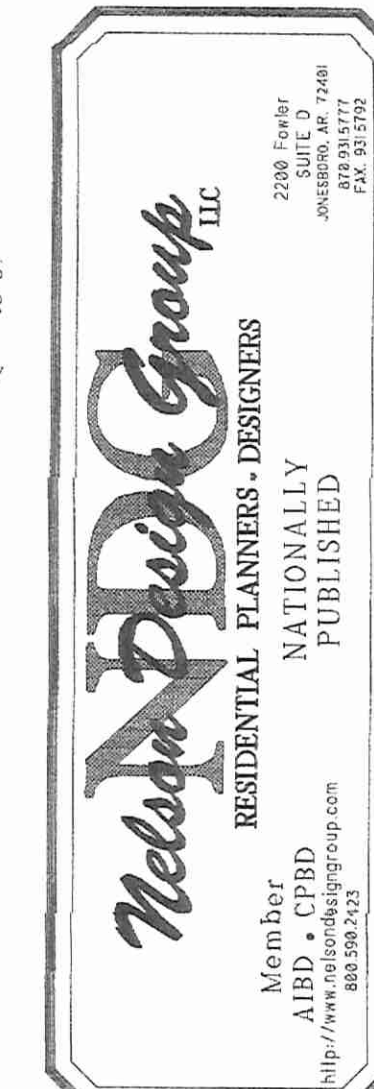
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A NEW HOME PLAN
12-18-46
ELEVATIONS / NOTES

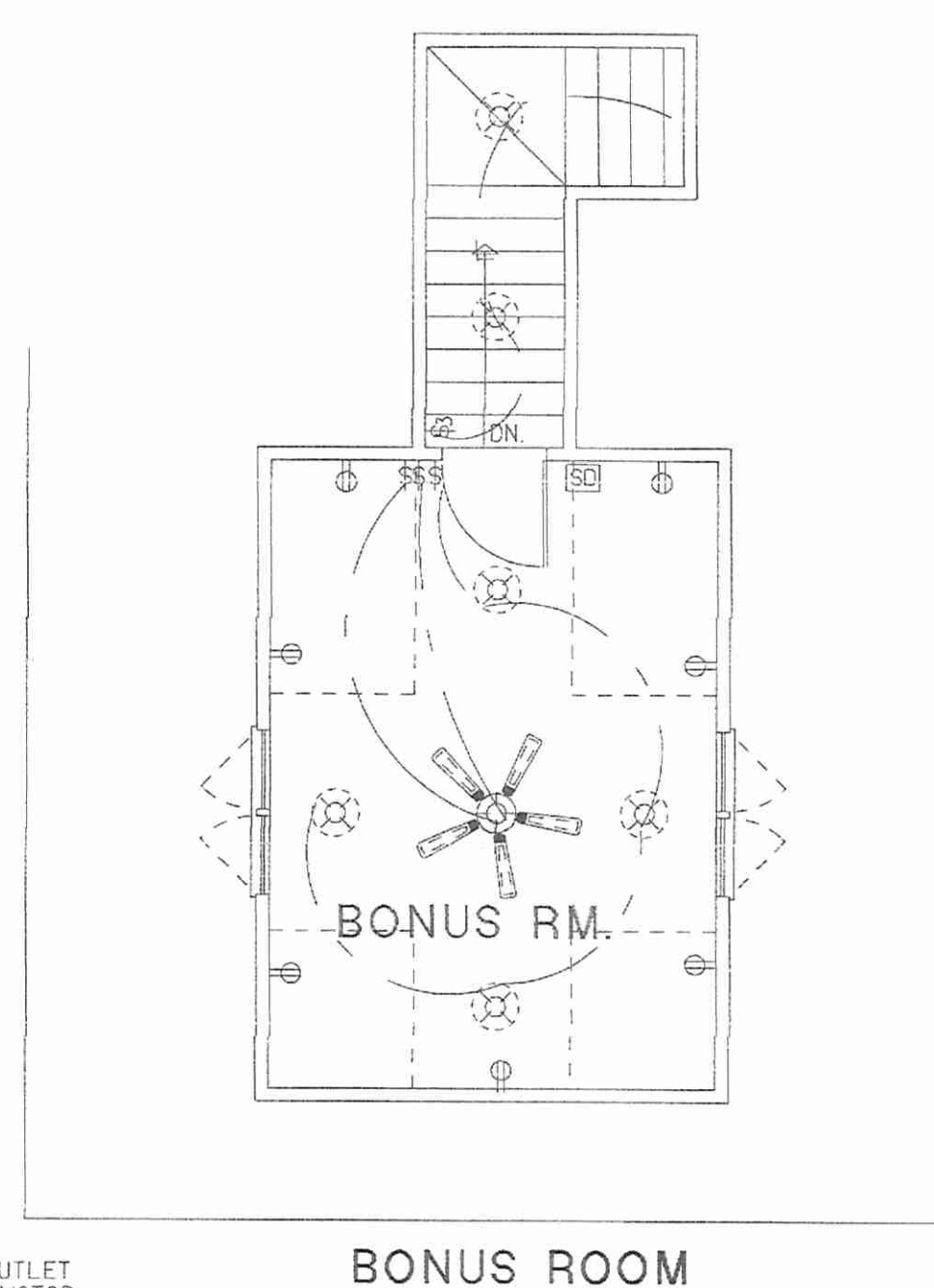
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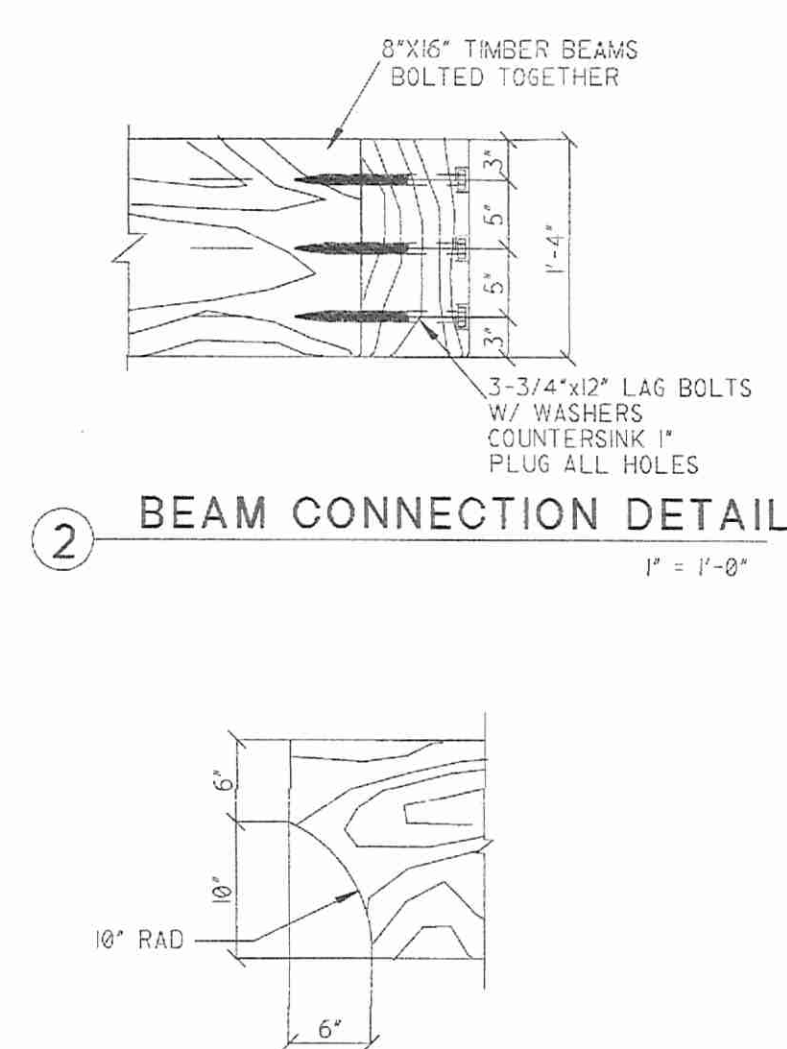
REVISIONS	BY



DATE	4/15/2020
SCALE	1/4\"/>

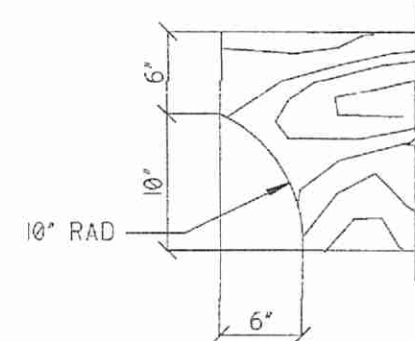


BONUS ROOM

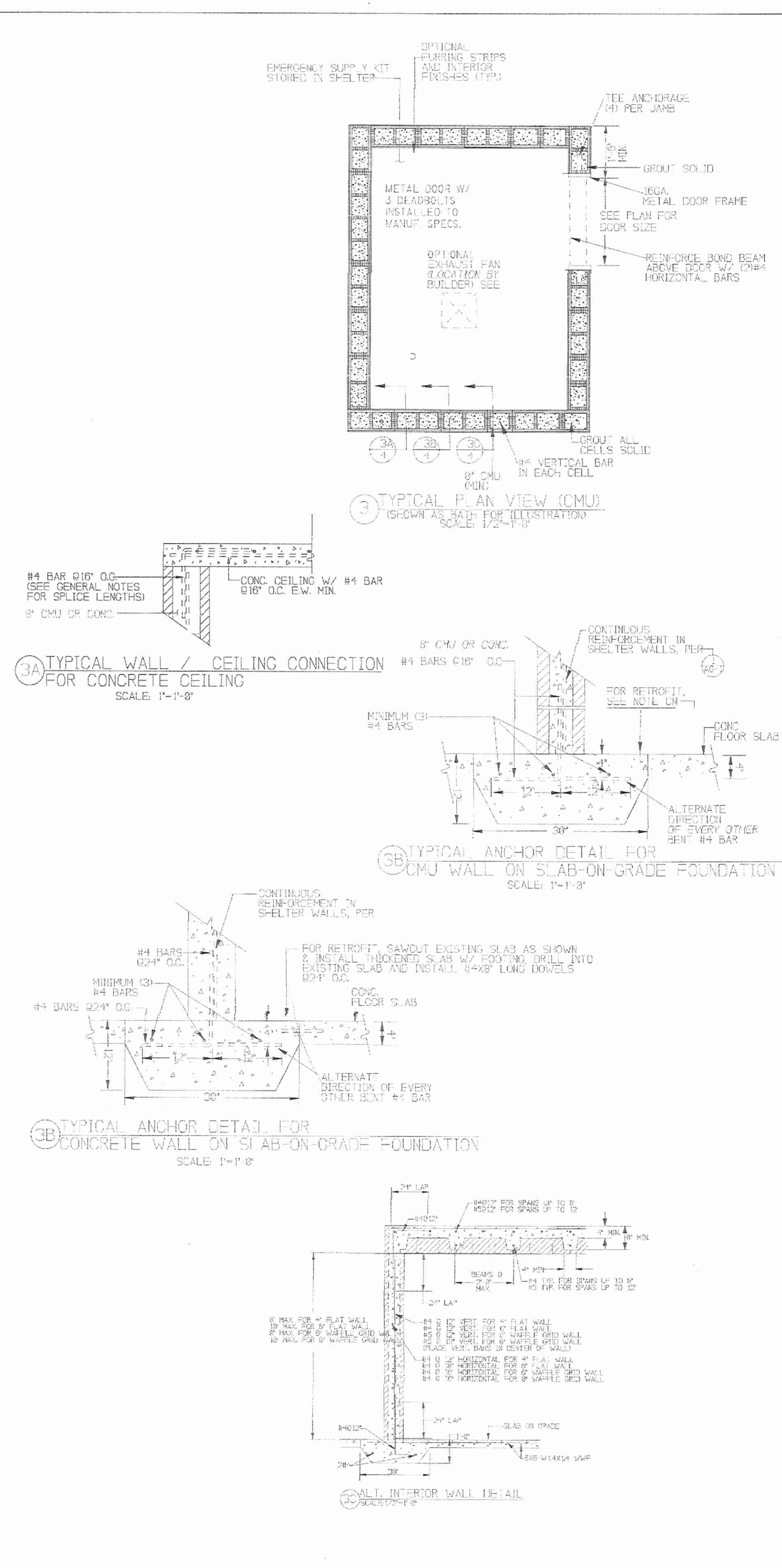


② BEAM CONNECTION DETAIL

1A ENTRY TIMBER RIDGE CUT DETAIL



1A ENTRY TIMBER RIDGE CUT DETAIL



NOTE

2 SAFE ROOM DETAILS

1.- SEE MAIN FLOOR PLAN FOR CEILING HEIGHT EXCLUDING 4" CONCRETE CEILING UNLESS NOTED.
2.- SEE FLOOR PLAN FOR OVER-ALL DIMENSIONS. ALL CONSTRUCTION TO BE IN ACORDANCE WITH FEMA
3.- ADAPT FOUNDATION TIE-INS TO FLOOR PLAN STORM ROOM LOCATION. INITIAL TO FEMA SPECS

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A NEW HOME PLAN
12-18-46
MAIN FLOOR AND BONUS ROOM ELECTRICAL PLAN / NOTES

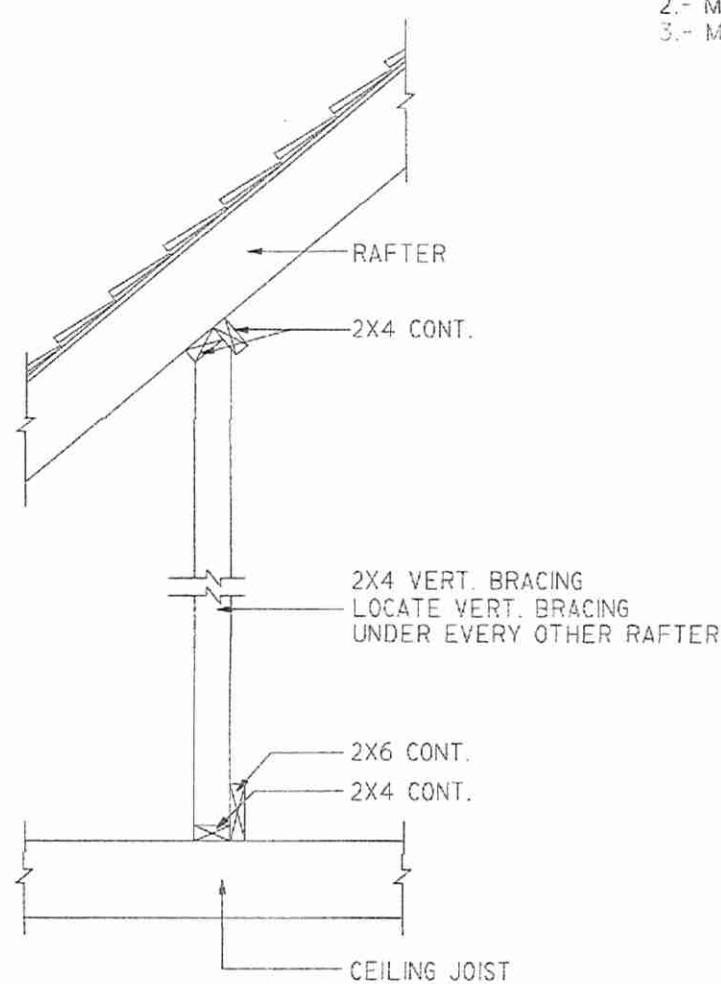
[illegible]

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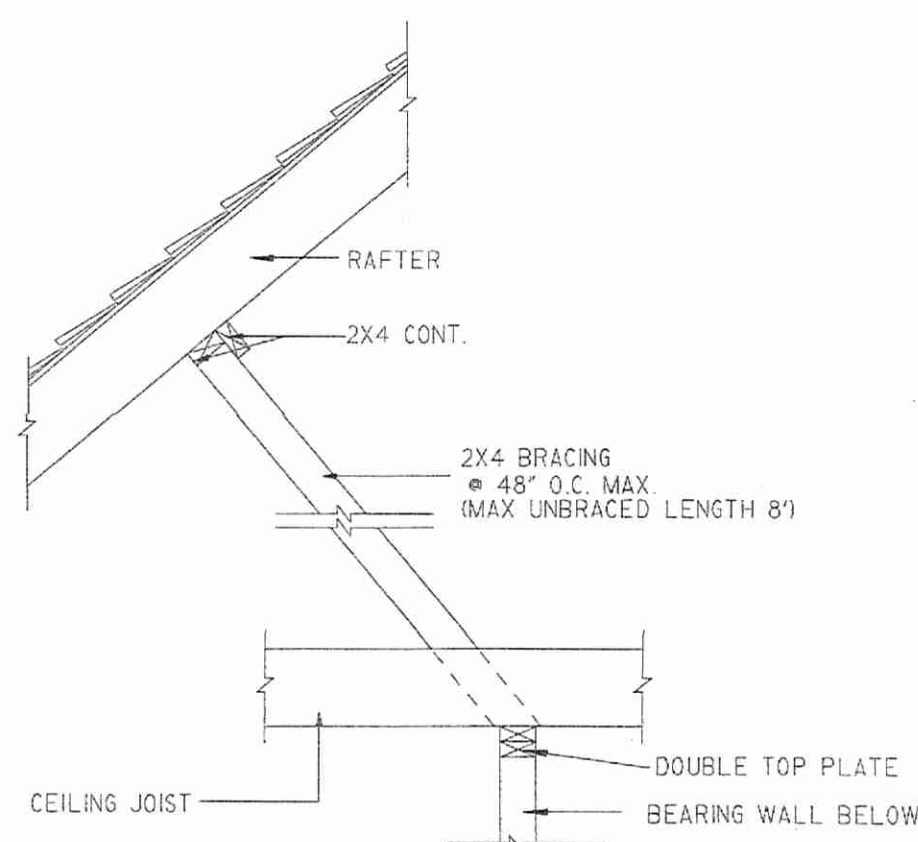
MICHAEL E. NELSON
P.B.D. Cerl. No. AR-104

DATE	4/15/2020
SCALE	1/4" = 1'-0"
BUILDER	
JOB	MENB109-20
DRAWN BY	ML

4	OF	5
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$$1/4^* = 1'-2^*$$

NOTE:
1.- MAIN ROOF PITCH TO BE 10:12 UNLESS NOTED.
2.- MAIN PLATE LINE TO BE 9'-0" UNLESS NOTED.
3.- MAIN ROOF OVERHANG TO BE 12" UNLESS NOTED.



OPT. RAFTER BRACING DETAIL (PURLIN)

NOTE:
PURLINS ARE PERMITTED TO BE INSTALLED TO REDUCE THE SPAN OF RAFTERS. PURLINS SHALL BE SUPPORTED BY 2-INCH BY 4-INCH BRACES INSTALLED TO BEARING WALLS AT A SLOPE OF NOT LESS THAN 45 DEGREES. THE BRACES SHALL NOT BE SPACED MORE THAN 48" APART ON CENTER AND THE UNBRACED LENGTH OF BRACES SHALL NOT EXCEED 8 FT. PURLINS SHALL BE CONTINUOUS. (REFER IRC R802.5.1)



RAFTER BRACING DETAIL

$$3/4^* = 1' - 0^*$$

I. DESIGN LOADS ARE AS FOLLOWS PER SQ FT:			
LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB	10 LB	L/360
2ND FLOOR (SLEEPING AREAS)	30 LB	10 LB	L/360
ATTIC (NON STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (WITH FINISHED CEILING)	30 LB SNOW	15 LB	L/240
ROOF (NO FINISHED CEILING)	30 LB	7 LB	L/180
DECKS	60 LB	10 LB	L/360

I. DESIGN LOADS ARE AS FOLLOWS PER SQ FT:			
LOCATION	LIVE	DEAD	DEFLECT LIMIT
1ST FLOOR	40 LB	10 LB	L/360
2ND FLOOR (SLEEPING AREAS)	30 LB	10 LB	L/360
ATTIC (NON STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (WITH FINISHED CEILING)	30 LB SNOW	15 LB	L/240
ROOF (NO FINISHED CEILING)	30 LB	7 LB	L/180
DECKS	60 LB	10 LB	L/360

SNOW LOADS HAVE BEEN ADJUSTED TO REFLECT THE SLIDOFF FACTOR.
AS A FUNCTION OF ROOF PITCH. RAFTER SIZES MAY HAVE TO BE
INCREASED TO ACCOMADATE HIGHER SNOW LOADS.
VERIFY WITH LOCAL CODES.

2. LUMBER SHALL BE DOUGLAS-FIR-LARCH, HEM-FIR OR SOUTHERN-YELLOW-PINE WITH FB=1450 AND E=1.6 MINIMUM.

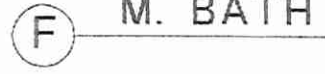
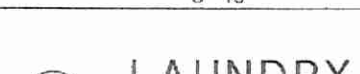
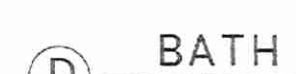
3. ALL HEADERS SHALL BE FREE FROM ALL SPLITS, CHECKS OR SHAKES

4. UNLESS NOTED OTHERWISE, PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD GLUED BETWEEN AND NAILED, FOR ALL OPENINGS IN 2X6 WALLS, DOUBLE 2X12 HEADERS NAILED TOGETHER FOR ALL OPENINGS IN 2X4 WALLS.

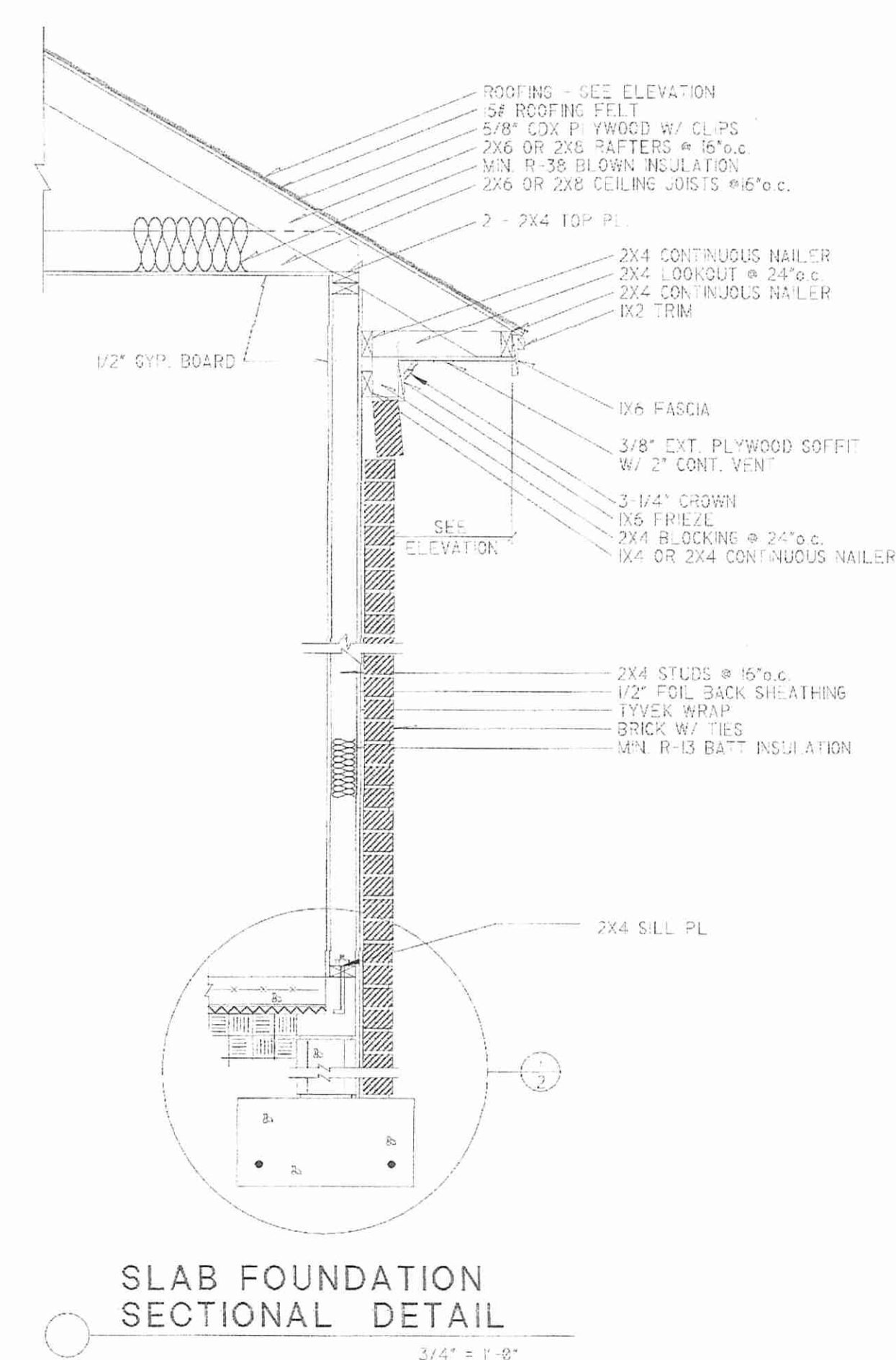
5. FLOOR CONSTRUCTION: 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.

6. STAIR CONSTRUCTION SHALL CONSIST OF (3)2X12 STRINGERS, 5/4" OR 2X THICK TREADS AND 3/4" THICK RISERS OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

7. ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE "PRESSURE TREATED" & SILICONE SEALED.

[illegible]
$$1/2^{\mathbf{y}} = 1 - Q'$$

3. PROVIDE R-19 INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-30 INSULATION IN FLAT CEILING, AND R-30 MINIMUM BLANKET INSULATION IN VAULTED CEILING. ALLOW 1/2" MINIMUM AIRSPACE BETWEEN INSULATION AND CEILING. FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING VENTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER AGAINST INSIDE OF ALL INSULATION. LAP JOINTS 18" MINIMUM.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-25 FOIL BACK INSULATION BETWEEN JOISTS.
5. SLAB EDGE INSULATION R-5.
6. FINIC DETAILS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-5.



SLAB FOUNDATION
SECTIONAL DETAIL

$$3/4^\circ = \gamma.$$

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A NEW HOME PLAN

12-18-46

ROOF PLAN / CABINET ELEVATIONS / NOTES

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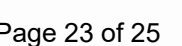
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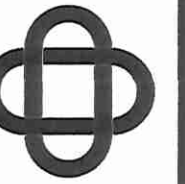
MICHAEL E. NELSON
P.B. Cert. No. AR-104

DATE	4/5/2020
SCALE	1/4" = 1'-0"
BUILDER	
JOB	MENBI09-20
DRAWN BY	ML

5 of 5



11/02/2021



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail eric@edengineering.com

FOUNDATION DETAILS
ENGINEERED FOR:
NICK SALISBURY

PLAN: CUSTOM	ELD JOB NO: DIF21-1686	DRAWN BY: BW	CHECKED BY: ELD	AREA: 3,120 SQ FT
BUILDER: NICK SALISBURY	ADDITION: LOT 3, BLOCK 3 MADISON RIDGE, PHASE 1 - PR - DURANT, OK	ADDRESS: LOT 3 BLOCK 3	LOT: 3	BLOCK: 3
CITY: DURANT, OK				

SCALE: N.T.S.

F-02

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE.
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GREATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL. UNLESS PIERS ARE SPECIFIED, BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
- THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
- FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
- BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED.

BEAM CABLE NOTE

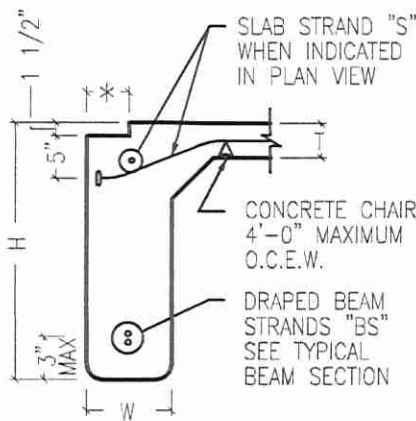
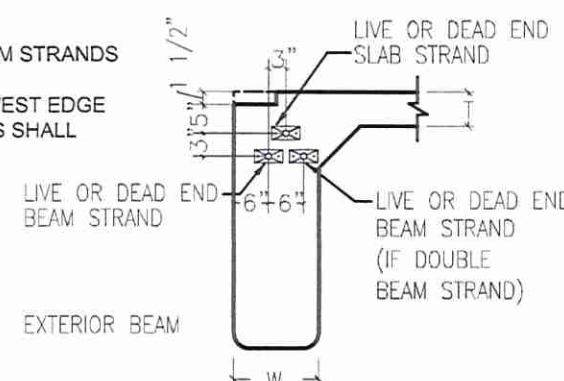
- BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.

THIS POST-TENSION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.

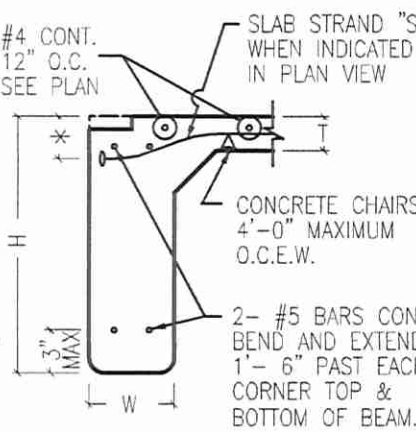
STRAND END LAY-OUT

NTS

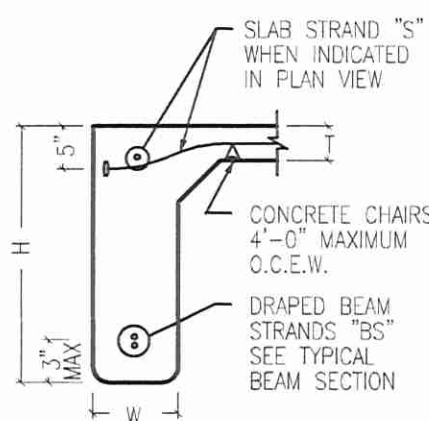


SECTION 1
NTS

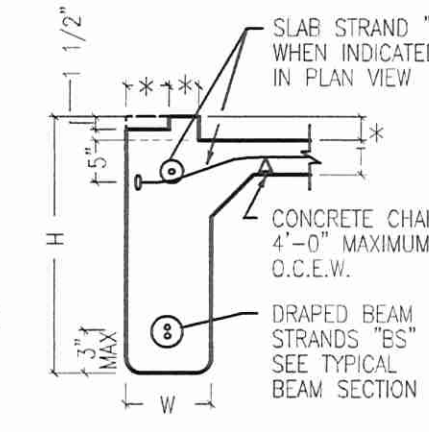
*ANCHOR SHALL BE PLACED 5" BELOW LOWEST EDGE OF CONCRETE



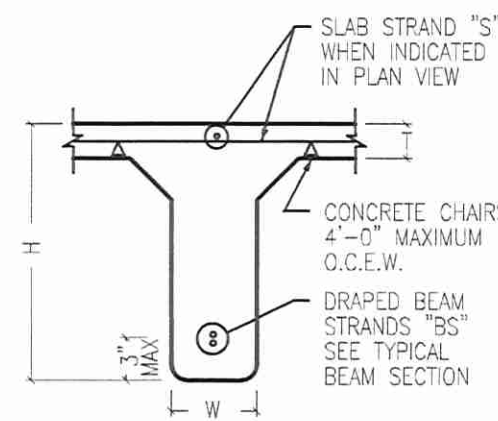
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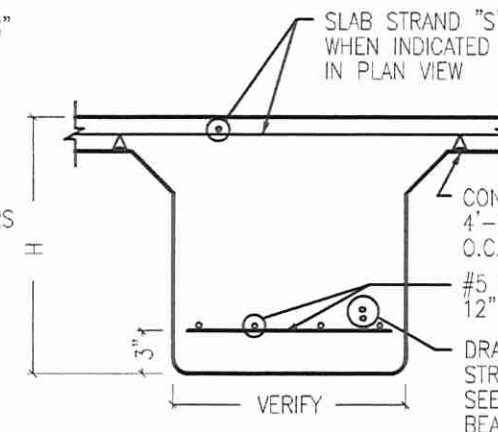
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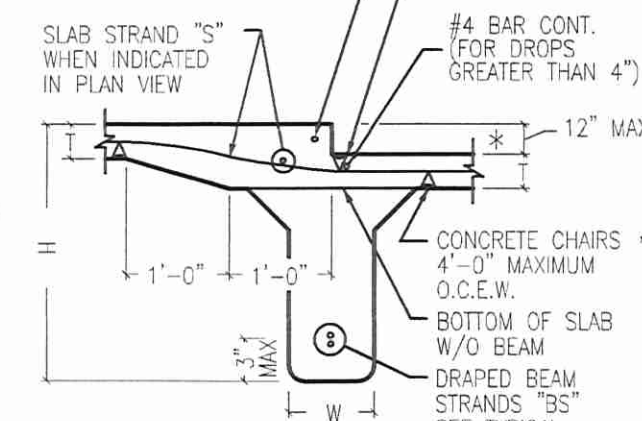
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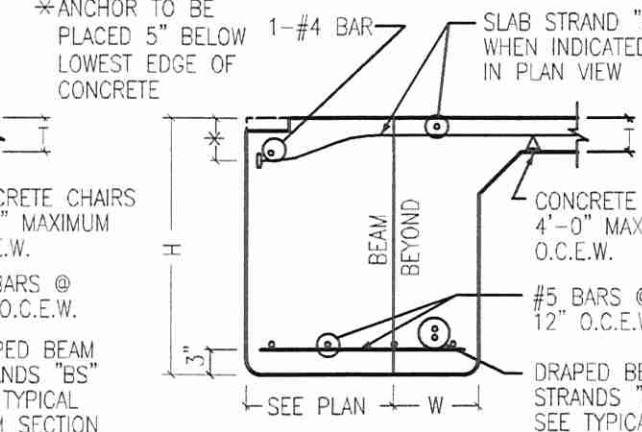
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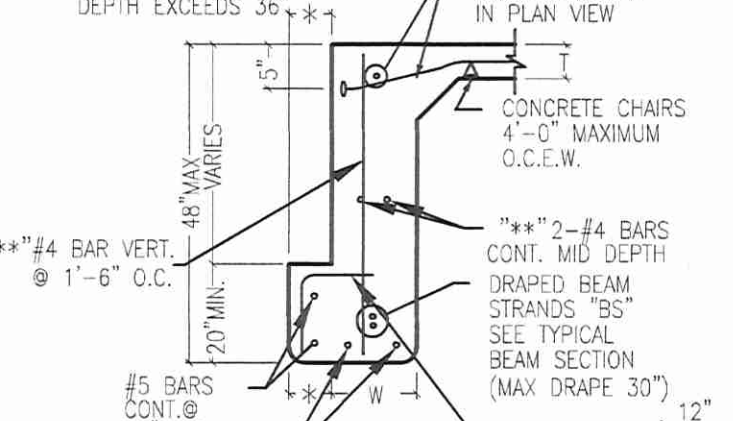
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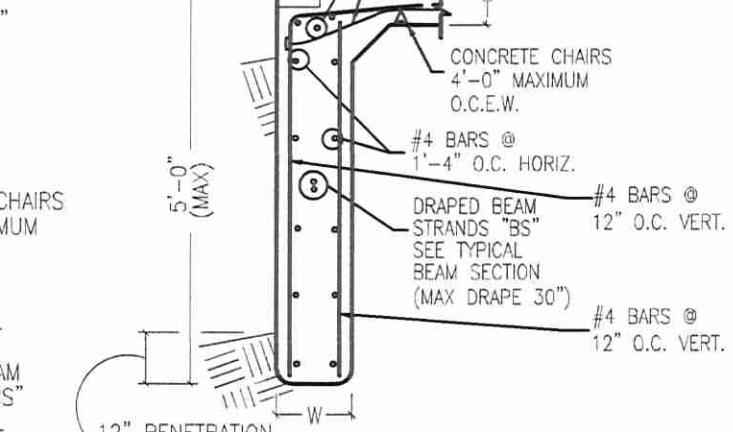
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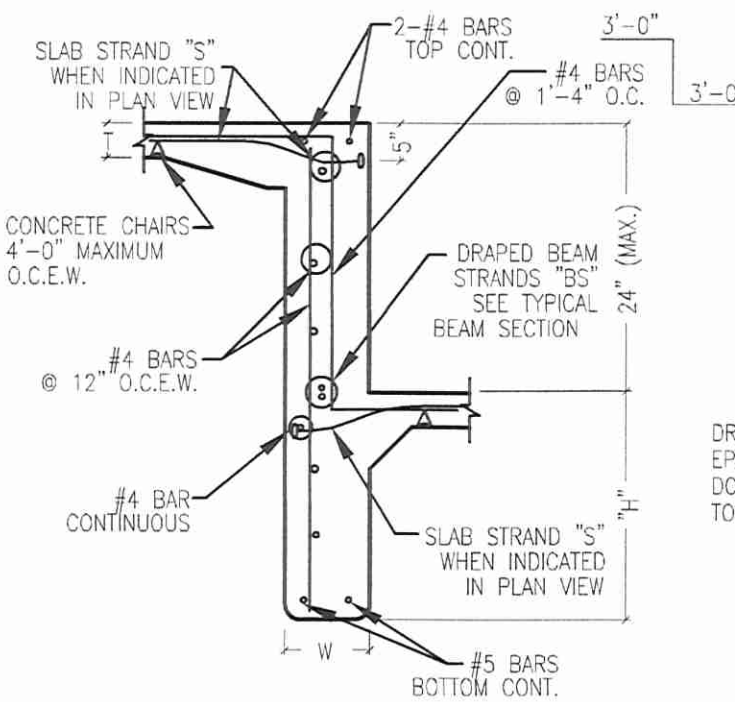
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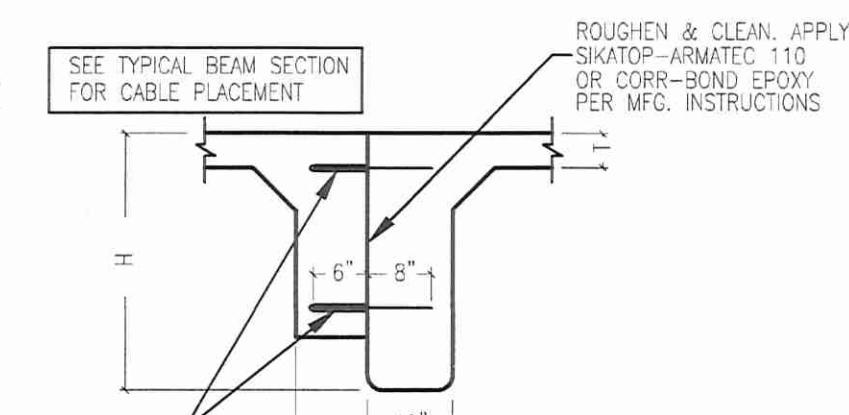
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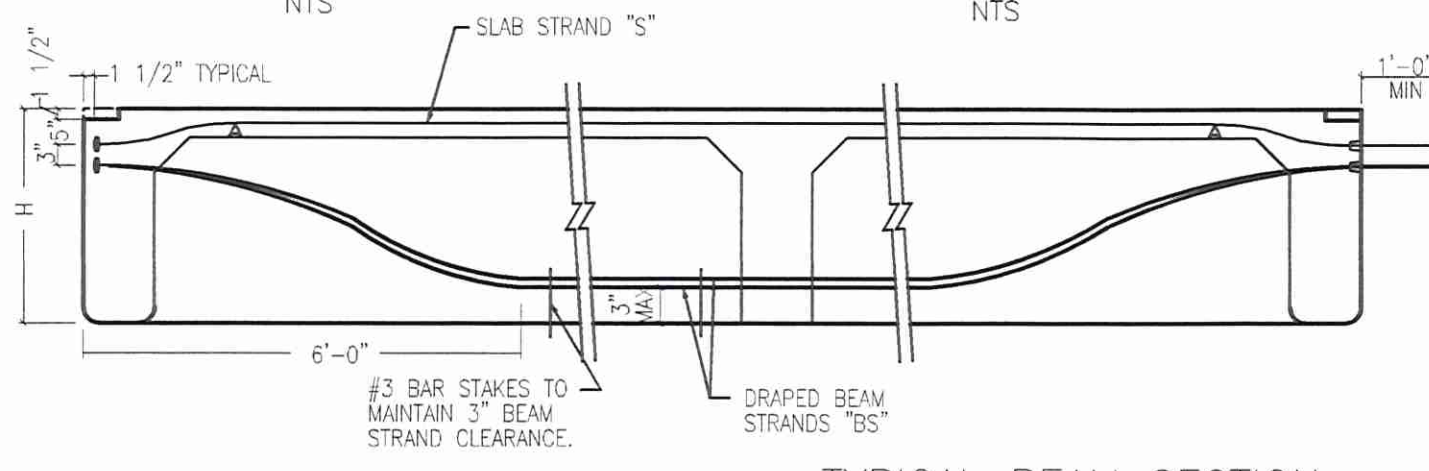
SECTION 10
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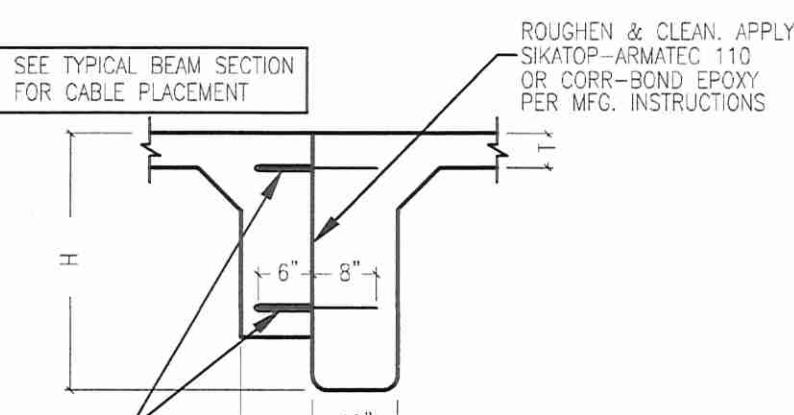
SECTION 11
NTS



SECTION 12
NTS



SECTION 13
NTS



SECTION 14
NTS

CERTIFICATE OF AUTHORIZATION # 5458
EXPIRATION DATE: JUNE 30, 2022



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 23888 ON 11/5/2021

GENERAL NOTES & TYPICAL SECTIONS
FOR POST-TENSIONED CABLE
FOUNDATIONS

I, DAVID L. PAGE, JR., HEREBY CERTIFY THAT THIS PLAT ACCURATELY REPRESENTS A SURVEY UNDER MY DIRECT SUPERVISION OF THE FOLLOWING TRACT OF LAND DESCRIBED TO WIT:

EXISTING LEGAL DESCRIPTION:

BOOK 1347, PAGE 542:

LOT 3 IN BLOCK 3 IN MADISON RIDGE PHASE 1, AN ADDITION TO THE CITY OF DURANT, BRYAN COUNTY, OKLAHOMA, ACCORDING TO THE RE-FILED PLAT THEREOF.

DOCUMENTS USED IN PREPARATION FOR THIS SURVEY:

1. WARRANTY DEED FROM CHARLES AND SUE DILL, TO DOROTHY LEE SALISBURY, FILED ON SEPTEMBER 23, 2013 IN BOOK 1347, PAGE 542 IN THE RECORDS OF BRYAN COUNTY, OKLAHOMA.
2. COVENANTS OF MADISON RIDGE - PHASE 1 FILED ON MAY 26, 2005 IN BOOK 1086, PAGE 708 IN THE RECORDS OF BRYAN COUNTY, OKLAHOMA.
3. MADISON RIDGE - PHASE 1 TO DURANT, OKLAHOMA AS FILED IN THE RECORDS OF BRYAN COUNTY, OKLAHOMA.

PLAT OF SURVEY

NICK SALISBURY
LOT 3 IN BLOCK 3 OF MADISON RIDGE - PHASE 1
BRYAN COUNTY, STATE OF OKLAHOMA.

SURVEYOR'S NOTES:

1. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT, COMMITMENT OR TITLE OPINION, NO EASEMENTS OR RIGHTS-OF-WAY WERE PROVIDED TO THE SURVEYOR.
2. ALL MEASUREMENTS AS SHOWN ARE IN GRID (SPC NAD 83) BEARINGS, AND GROUND DISTANCES UNLESS OTHERWISE NOTED.
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
4. ALL LATITUDE AND LONGITUDE COORDINATES ARE SHOWN AS WGS 84, DERIVED BY DIFFERENTIAL G.P.S. BASED ON DURANT CONTROL NETWORK BY PAGE SURVEYING AND ASSOCIATES, AND GRID (SPC NAD 83) BEARINGS.
5. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD.
6. SUBJECT PROPERTY IS SUBJECT TO STATUTORY SECTION LINE ROAD EASEMENTS WHERE APPLICABLE AND AS SHOWN ON SURVEY PLAT.
7. SURVEY PERFORMED USING RTK GPS, COORDINATE SYSTEM IS WGS 84, ALL BEARING ARE REFERENCED TO GRID (SPC NAD 83) BEARINGS.

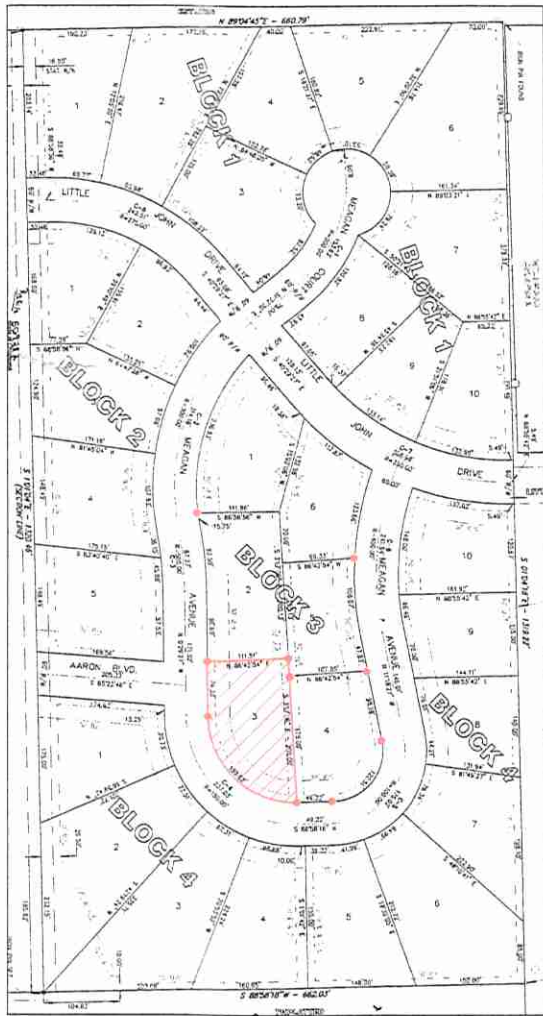
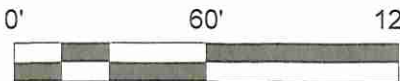
G.P.S. BASE POINT INFORMATION:

NAD 83 COORDINATE
NORTHING: 256235.126
EASTING: 2455845.385
ELEV. 685.429

WGS 84 DATA
LAT: 34°01'36.32024" N
LONG: 96°23'29.49090" W
HT. 598.855

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	92.50'	530.00'	10°00'00"	N 05°29'26" W	92.39'
C2	189.62'	120.00'	90°32'16"	S 45°45'34" E	170.50'
C3	122.51'	70.00'	100°16'45"	N 38°49'56" E	107.47'
C4	108.07'	430.00'	14°23'58"	S 04°06'27" E	107.78'
C5	148.00'	370.00'	22°55'04"	S 07°20'45" W	147.01'
C6	46.46'	370.00'	7°11'39"	S 07°42'37" E	46.43'
C7	44.21'	130.00'	19°29'00"	N 01°33'57" W	43.99'
C8	76.34'	130.00'	33°38'46"	N 24°59'56" E	75.25'
C9	64.99'	130.00'	28°38'36"	N 56°08'37" E	64.31'
C10	41.99'	130.00'	18°30'23"	N 79°43'06" E	41.81'
C11	68.88'	180.00'	21°55'34"	S 80°03'55" E	68.46'
C12	67.31'	180.00'	21°25'32"	S 58°23'22" E	66.92'
C13	77.51'	180.00'	24°40'18"	S 35°20'26" E	76.91'
C14	70.73'	180.00'	22°30'51"	S 11°44'52" E	70.28'
C15	45.88'	470.00'	5°35'35"	N 03°17'14" W	45.86'
C16	36.15'	470.00'	4°24'25"	N 08°17'14" W	36.14'

~BASIS OF BEARINGS~
BASED ON FILED PLAT OF MADISON RIDGE - PHASE 1
(SPC NAD 83)
CONTROLLING CORNERS ARE EXISTING CORNERS
FOUND AT THE LOT AND BLOCK CORNERS IN
MADISON RIDGE - PHASE 1 TO DURANT, OKLAHOMA.



• DENOTES CONTROLLING MONUMENT

VICINITY MAP

LEGEND

These standard symbols may be found in the drawing.

- ⊙ FOUND 1/2" STEEL PIN WITH CAP (CA 1991)
- FOUND 1/2" STEEL PIN
- ▲ CALCULATED CORNER (NOT SET)
- FIRE HYDRANT
- ⊕ WATER VALVE
- ⊗ WATER METER
- Ⓢ SANITARY SEWER MANHOLE
- Ⓣ TELEPHONE PEDESTAL
- ⓔ ELECTRIC BOX
- BOUNDARY LINE
- SANITARY SEWER LINE
- UNDERGROUND WATERLINE
- WOOD PANEL FENCE

ASPHALT SURFACE

CONCRETE SURFACE



124 SOUTH 8th AVENUE
DURANT, OKLAHOMA 74701
(580) 920-9101 OR (580) 239-0178
FAX (580) 920-9121

DAVID L. PAGE JR. © 2021
PROFESSIONAL LAND SURVEYOR #1566
C.A. # 1991, EXPIRES 6-30-2023

Surveyor's Seal



8-16-21
DATE SIGNED

David L. Page, Jr.
DAVID L. PAGE, JR. P.L.S. #1566

LOCATION

LOT 3 IN BLOCK 3 OF
MADISON RIDGE - PHASE 1
DURANT, OKLAHOMA

GENERAL NOTES

SUBJECT TO EASEMENTS AND/OR RIGHTS-OF-WAY, EITHER RECORDED, OR IMPLIED, THEREOF.

NO UTILITIES OF ANY KIND HAVE BEEN LOCATED EXCEPT THOSE SHOWN ON THE ABOVE PLAT

CONTROLLING CORNERS FOR THIS SURVEY ARE AS SHOWN ON THE LOCATION MAP

THIS IS NOT A VALID SURVEY WITHOUT THE SURVEYORS ORIGINAL SIGNATURE AND ORIGINAL SEAL

PORTIONS OF THIS PLAT ARE IN COLOR, PHOTO AND ELECTRONIC COPIES OF THIS PLAT MAKE IT INVALID AND MAY ALTER ITS MEANING

THIS PLAT AND SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS

NO.	REVISION/ISSUE	DATE

SURVEY INFORMATION

FIELD WORK PERFORMED: 8-10-21
DATE OF LAST SITE VISIT: 8-16-21
PLAT COMPLETED: 8-16-21

Project Name and Address
NICK SALISBURY
LOT3 IN BLOCK 3 OF MADISON RIDGE - PHASE 1
DURANT, STATE OF OKLAHOMA

SCALE 1"=60'

SHEET NO. 1 OF 1

DATE 8-16-21