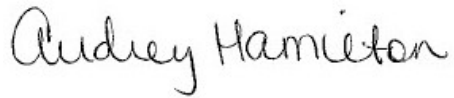


This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 8th day of December, 2021 and that an agenda of said meeting was posted at the place of such meeting at 09:00 a.m. on the 25th day of February, 2022.



Audrey Hamilton, City of Durant

MINUTES OF THE MEETING OF DURANT PLANNING COMMISSION
March 1, 2022 AT 5:30 PM, Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma

CALL TO ORDER

Planning Commission Chair Kevin Keener called the meeting to order at 5:38 p.m.

INVOCATION/FLAG SALUTE

Commissioner Member Jackson provided the invocation. Commission Member Knight led the flag salute.

ROLL CALL

Present:

Planning Commission Chairman Kevin Keener
Planning Commission Vice Chairman Drew Jackson
Planning Commissioner Clent Horner
Planning Commissioner Shane Knight
Planning Commissioner Whitney Kerr

Absent:

None

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

a. Consider Approval of Regular Meeting Minutes of February 1, 2022

Commission Member Knight stated there was an error in the vote count on the Motion to Adjourn from the February meeting. He was absent from the meeting.

Motion was made by Commission Member Horner and seconded by Commission Member Jackson to approve the minutes with the requested change to the vote count.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Kerr

Nays: None

Abstain: None

2. Consider Items Removed from Consent

3. Information Items

- a. Community Development Updates

4. Administration

- a. Discussion, Consideration and Possible Action on Investigation and Report regarding the relocation of the Dixon Durant Statue

John Dean reviewed with the Planning Commission members a request regarding the relocation of the Dixon Durant Statue. The Keep Durant Beautiful Committee has been working on various projects to help continue to improve the look of Durant. One of the projects that they would like to complete involves the movement of the Dixon Durant statue. The statue is currently located on the East side of Market Square near 1st Avenue; however, the committee would like to have the statue moved to the Southeast corner of City Hall (near 3rd & Evergreen). The committee felt the placement of Dixon Durant at City Hall is a better placement and could gain more attention for the founder of Durant. According the State Statutes and City Ordinances, the Planning Commission is required to investigate and report on the location, construction or design of any statue or memorial. Therefore, this item is coming before you for investigation and report. This item will have to be heard by the City Council as well.

Motion was made by Commission Member Horner and seconded by Commission Member Jackson to approve the request as presented.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None

- b. Discussion, Consideration and Possible Action on Investigation and Report on the location and design of the Unity Monument.

John Dean reviewed with the Planning Commission members a request regarding the

location and design of the Unity Monument. Staff recently learned that according to OS Title 11 Section 45-104, "Before final action may be taken by any municipality or department thereof on the location, construction, or design of any public building, statue, memorial, park, parkway, boulevard, street, alley, playground, public ground, or bridge, or the change in the location or grade of any street or alley, the question shall be submitted to the planning commission for investigation and report". There is no statutory requirement for Planning Commission approval, only an investigation and report. This vision was initiated by Mayor Grube several years ago. Her vision was to create something to represent the unity between the Choctaw Nation of Oklahoma and the City of Durant. In early 2020, the City Council approved the application for ODOT permission and was permitted by ODOT to use the ODOT right of way just west of the Carl Albert swimming pool for the project. The design was developed by Janie Umsted and has received an endorsement from Chief Batton. The monument will be approximately 35 feet high and have a diameter of approximately 35 feet. The structural engineering has been completed. The Durant Tourism Economic Development Authority supports the project. According the State Statutes and City Ordinances, the Planning Commission is required to investigate and report on the location, construction or design of any statue or memorial. Therefore, this item is coming before you for investigation and report. This item will have to be heard by the City Council as well.

Motion was made by Commission Member Knight and seconded by Commission Member Jackson to approve the request as presented.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None

5. Public Hearings

- a. Discussion, Consideration and Possible Action on PC2022-04, a Planned Unit Development (PUD) for property located near South 9th Avenue and Highway 70

The Planning Commission members reviewed a request for a Planned Unit Development (PUD) for property located near the intersection of South 9th and Highway 70. The applicant approached staff regarding the desire to place a mixed-use type development that will include commercial and residential uses. The applicant would like to develop this property where commercial would be along South 9th Avenue and to the West of the commercial development would be a multi-family residential development. This development would be completed in phases as indicated on the PUD plans. The subject property is approximately 100 acres and currently has a couple buildings on the property. The Planned Unit Development area is approximately 80 acres. The surrounding area is made up of a mix of Commercial, Agriculture and Industrial Zoned properties. The subject property does meet the requirements for the lot

area that is required within the requested Planned Unit Development. The development has approximately 7 acres that will be used for commercial uses and the remaining will be multi-family housing. The plans indicate a maximum density of 20 units per acre with a maximum height of 3 stories. This development will meet the required setbacks, parking as well as having sidewalks and street lights as required within ordinance. The applicant is having discussions with the Streets

Department with regards of placing a traffic light for the development. Staff has reached out to the Oklahoma Department of Transportation regarding the placement of this light and to ensure they do not have any issues. Staff members reviewed and signed off on this project with the following provisions being requested. The fire marshal has a requirement of fire hydrants for the residential piece to be 400 feet apart unless the buildings have a fire suppression system, then they can be 600 feet apart. For the residential piece fire hydrants need to be 200 feet apart. The fire marshal is also requesting that a second entrance be completed that can be used as an emergency entrance until the full project is complete. The Maintenance & Operations supervisor states the sewer will be a private line that connects to the applicant's lift station and the water will have a master meter at the drive and private within the complex. There is a city water line that runs along South 9th. Community Development and Neighborhood Services has a comment that the applicant will be required to obtain a Stormwater Permit from the Oklahoma Department of Environmental Quality (ODEQ) and provide a copy of their permit and Stormwater Pollution Prevention Program (SW3P) plans to city staff before a building permit can be obtained. The current Future Land Use Map has this area as commercial land uses; therefore, this PUD partially is in line with the Future Land Use Map. Notifications have been made to the surrounding property owners and at the time of this report staff has not received any phone calls or letters regarding this request.

Jonathan Kirby spoke regarding the development.

Motion was made by Commission Member Jackson and seconded by Commission Member Horner to approve the request as presented.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None

6. New Business

There was no new business.

ADJOURNMENT

Motion made by Commission Member Knight and seconded by Commission Member Jackson to adjourn the meeting.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None