

The City of Durant encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged in order to make the necessary accommodations. The City of Durant may waive the 48-hour rule if interpreters for the deaf (signing) or translation services for limited English proficient (LEP) individuals are not the necessary accommodation.

DURANT PLANNING COMMISSION

5:30 PM

**Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma
AGENDA**

November 2, 2021

CALL TO ORDER

INVOCATION/FLAG SALUTE

ROLL CALL

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

- a. Consider Approval of Regular Meeting Minutes of October 5, 2021

2. Consider Items Removed from Consent

3. Public Hearings

- a. Discussion, Consideration and Possible Action on PC2021-30 a Rezoning request from C-2, Highway Commercial and Commercial Recreation to A-1, General Agriculture and a Conditional Use Permit Application for property located at 2201 S. 9th Avenue
- b. Discussion, Consideration, and Possible Action on a Recommendation to the City Council to Amend Section 157.031 of the Durant Code of Ordinances.

4. New Business

ADJOURNMENT

CERTIFICATE

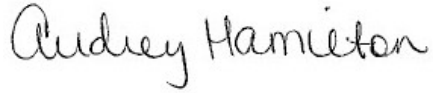
This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 9th day of September, 2021 and that an agenda of said meeting was posted at the

place of such meeting at 10:30 a.m. on the 29th day of October, 2021.

Audrey Hamilton

Audrey Hamilton, City of Durant

This is to certify that in conformity with the Oklahoma Open Meeting Act, public notice of the date, time and place of this meeting was filed with the City Clerk of Durant on the 9th day of September, 2021 and that an agenda of said meeting was posted at the place of such meeting at 09:00 a.m. on the 1st day of October, 2021.



Cynthia J. Price, City of Durant

MINUTES OF THE MEETING OF DURANT PLANNING COMMISSION
October 5, 2021 AT 5:30 PM, Roscoe J. Hatfield
Council Chambers,
300 West Evergreen,
Durant, Oklahoma

CALL TO ORDER

Planning Commission Chair Kevin Keener called the meeting to order at 5:35 p.m.

INVOCATION/FLAG SALUTE

Commission Member Jackson provided the invocation. Commission Member Knight led the flag salute.

ROLL CALL

Present:

Planning Commission Chairman Kevin Keener
Planning Commission Vice Chairman Drew Jackson
Planning Commissioner Clent Horner
Planning Commissioner Shane Knight
Planning Commissioner Whitney Kerr

Absent:

None

ORDER OF BUSINESS

1. Consent Items

To help streamline meetings and allow the focus to be on other items requiring strategic thought, the "Consent Items" portion of the agenda groups the routine, procedural, and self-explanatory non-controversial items together. These items are voted on in a single motion (one vote). However, any Council member requesting further information on a specific item thus removes it from the "Consent Items" section for individual attention and separate vote.

a. Consider Approval of Regular Meeting Minutes of September 7, 2021

Motion was made by Commission Member Knight and seconded by Commission Member Jackson to approve the minutes as presented.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None

2. Consider Items Removed from Consent

3. Information Items

a. Transitional Zoning Committee Update

Danielle O'Neal provided an update to the Planning Commission regarding the Transitional Zoning Committee meeting held on Friday, October 1st. She further stated that staff will be setting up a meeting with individuals who are more familiar with Transitional Zoning. Staff will provide an update to the Planning Commission after that meeting takes place.

4. Administration

a. Discussion regarding Zoning Code § 157.031 Uses Permitted in Districts and Setback Regulations

Danielle O'Neal stated that after the last Planning Commission meeting there were several questions about the zoning ordinance, in particular § 157.031, the Uses Permitting in Districts. The main question was around the ability to allow a more restrictive use in a less restrictive zoning category. An additional question regarding setback regulations, in particular for properties that are zoned C-3 and Industrial was asked. Ms. O'Neal further stated staff reviewed regulations from five different cities as they pertain to both questions asked and presented those findings to the Planning Commission.

5. Public Hearings

a. Discussion, Consideration and Possible Action on PC2021-28 a Rezoning request from A-1, General Agriculture to R-3, General Residential for property located near Lindenwoods Drive and Thomas Circle

Danielle O'Neal reviewed with the Planning Commission members a Rezoning request from A-1, General Agriculture to R-3, General Residential for property located near Lindenwoods Drive and Thomas Circle. The applicant approached staff regarding the rezoning of this property for a desired new housing development. The housing development is expected to match the current Lindenwoods development of single-family, duplex and multi-family units. The lot does have city water and sewer nearby. The subject property is a total of 37 acres and is currently a vacant piece of property. The area is made up of a mixture of Residential, Commercial and some Industrial Zoned properties. The subject property does meet the requirements for the lot area that is required within the requested zoning type. The current Land Use Map at the time of the application appears to have this area as medium density residential land uses;

therefore, this rezoning request appears to be in compliance with the current Future Land Use Map that was in place at the time of application. It should be noted that we recently adopted a new Comprehensive Plan and Future Land Use Map. Notifications have been made to the surrounding property owners and at the time of this report staff has not received any calls or emails regarding this rezoning request.

The applicant, Ryan Hackett, spoke in support.

Motion was made by Commission Member Jackson and seconded by Commission Member Horner to approve the request as presented.

Motion Passed with the following vote:

Ayes: Keener, Jackson, Horner, Knight, Kerr

Nays: None

Abstain: None

- b. Discussion, Consideration and Possible Action on PC2021-29 a Rezoning request from R-1, Single Family Residential to C-2, Highway Commercial and Commercial Recreation for property located at 1528 Estelle Street

Danielle O'Neal stated the applicant would like to withdraw his rezoning application and no action will need to be taken at this time.

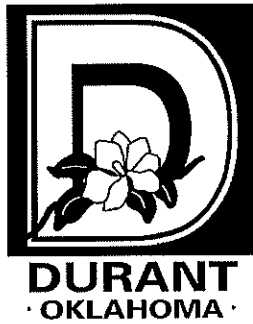
Commission Chairman Keener called for no action to be taken on the item at this time.

6. New Business

There was no new business.

ADJOURNMENT

Motion made by Commission Member Horner and seconded by Commission Member Knight to adjourn the meeting.



THE CITY OF DURANT

Office of Community Development

Date: 11/02/2021
To: Planning Commission
Case: PC 2021-30
From: Danielle O'Neal, Community Development Director
Re: Rezoning Request from C-2 Highway Commercial and Commercial Recreation District to the A-1 General Agriculture District and a Conditional Use Permit request to place a communication tower for property located near 2201 S 9th Avenue.

Request: Consider a request from Hazaleus Livestock LLC, for a rezoning of the property located at 2201 S 9th Avenue from C-2 Highway Commercial and Commercial Recreation District to the A-1 General Agriculture District and a Conditional Use Permit request to place a communication tower.

Current Zoning: C-2, Highway Commercial and Commercial Recreation District / A-1, General Agriculture

Requested Zoning: A-1, General Agriculture District

Surrounding Properties:

Direction	Zoning	Use
North	C-2 / A-1	Fairgrounds
West	A-1	Vacant
South	C-2 / A-1	Commercial Uses
East	C-2	Commercial / Industrial Uses

Applicant: Hazaleus Livestock, LLC

Background: The applicant approached staff regarding the desire to build a communication tower on the property. Therefore, the applicant filed for a rezoning and a Conditional Use Permit

request. Currently, the property is dual zoned, with a part of it being zoned as A-1, General Agriculture and the other C-2, Highway Commercial and Commercial Recreation.

The application states that there is an increased demand for cellular data and most towers in the area are at capacity. The tower is expected to be constructed in the parking lot of the stockyards property. The lot does have city water and sewer nearby.

Notifications have been made to the surrounding property owners and at the time of this report staff has not received any calls or emails regarding this rezoning and Conditional Use Permit request.

Analysis: The aforementioned property is approximately 9 acres and currently has the Durant Stockyards buildings on the property. The area is made up of a mixture of mostly Agriculture and Commercial Zoned properties. The subject property does meet the requirements for the lot area that is required within the requested zoning type. Ordinances also require communication towers within Agriculture Zoned property to obtain a Conditional Use Permit as specified within the Permitted Uses Table. Staff has reviewed the information for the Conditional Use Permit, and staff is still awaiting to hear back from a couple staff members.

The current Future Land Use Map has this area as commercial land uses; therefore, this rezoning and conditional use permit request appears to not be in line with the Future Land Use Map.

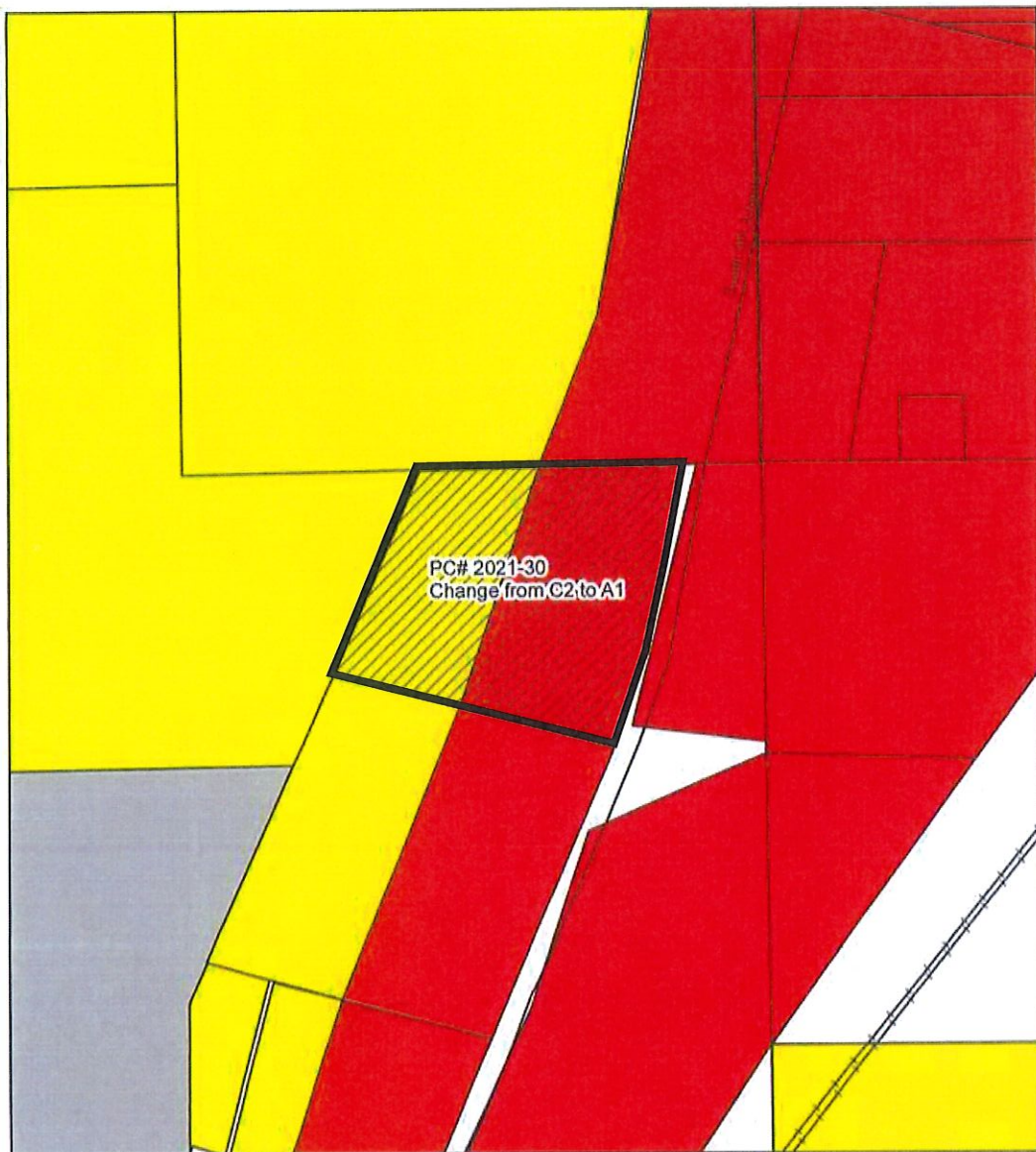
Staff Recommendation: Staff does not have any problems with this rezoning request, other than it not following the Future Land Use Map. However, it should be noted that this request would cleanup a dual zoned property. The staff that has responded to the Conditional Use Permit review has not had any issues with the request.

Required Action: Hold a public hearing to recommend approval or denial of the rezoning and conditional use permit request for the property located at 2202 S. 9th Avenue. Any specific conditions imposed by the Commission should be read into any approval motion.

Aerial Map

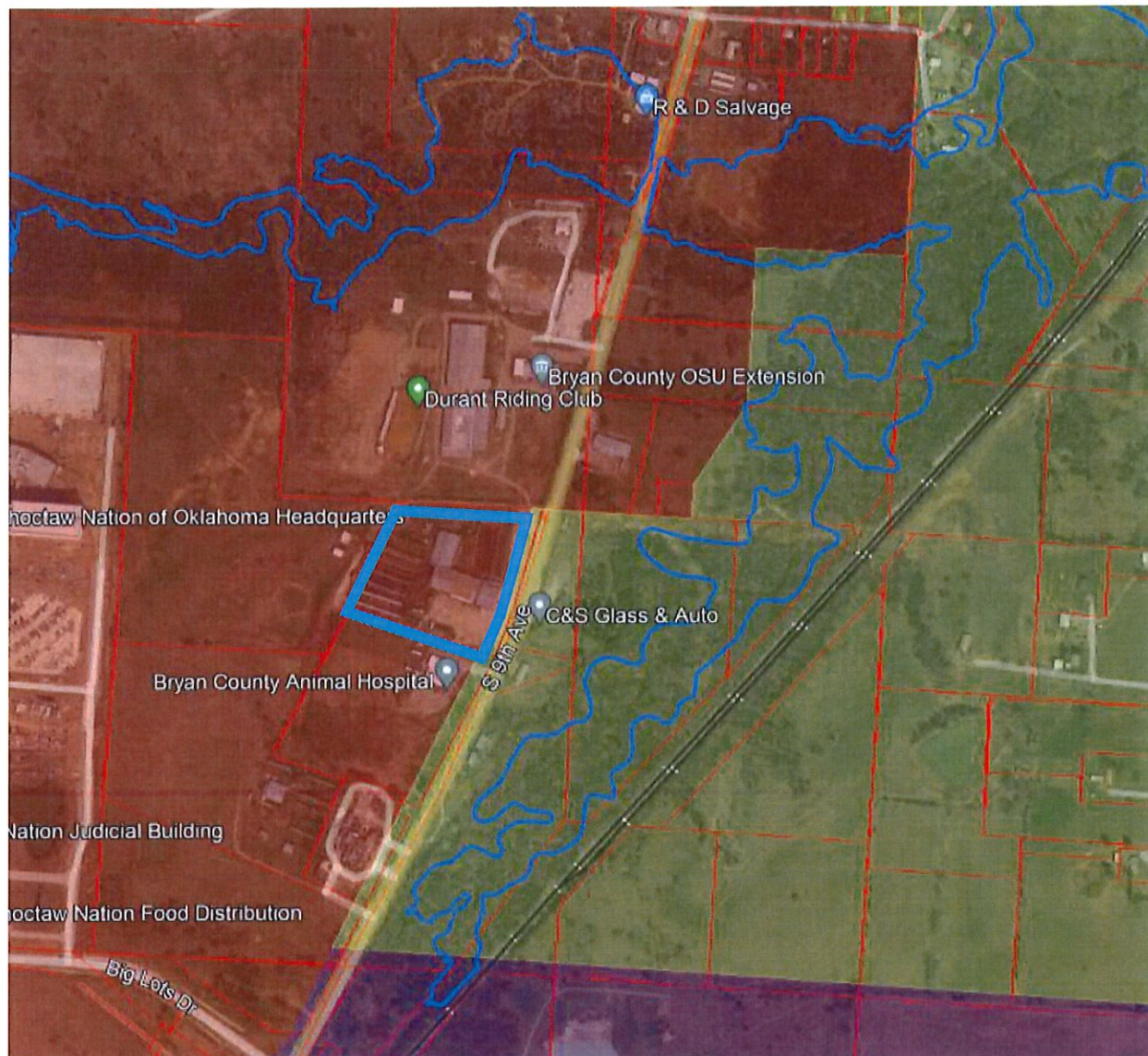


Zoning Map



- A1 - Agriculture
- C0 - Professional & Business Office
- C1 - Convenient Commercial
- C2 - Highway Commercial
- C3 - General Commercial
- CBD - Central Business District
- H1 - Health Facilities
- I1 - Light Industrial
- I2 - Medium Industrial
- R1 - Single Family Residential
- R2 - Two Family Residential
- R3 - General Residential - Multi-Family

Future Land Use Map



Future Land Use



§ 157.020 A-1 GENERAL AGRICULTURAL DISTRICT.

The A-1, Agricultural District, is established for several purposes:

(A) To provide for the continued use of land for predominately agricultural purposes;

(B) To preserve undeveloped areas until they can feasibly be developed at urban standards and with adequate public safeguards of health, safety and the like; and

(C) To restrict development in areas subject to severe flooding until such time as it can be shown that these areas are no longer subject to flooding.

(`93 Code, § 12-207) (Ord. 1040, passed 4-12-83)

§ 157.192 CONDITIONAL USE PERMITS.

(A) The following procedure is established to integrate properly the conditional uses with the other land uses located in the district. These uses shall be reviewed and authorized or rejected under the following procedure:

(1) An application shall be filed with the office of the City Planning Commission for review. Such application shall be in such form and content as the Planning Commission may by resolution establish;

(2) The Planning Commission shall within 45 days of the date of the application transmit to the City Council its report as to the effect of such proposed building or use upon the character of the neighborhood, traffic conditions, public utilities and other matters pertaining to the general welfare and the recommendation of the Planning Commission;

(3) The Planning Commission may recommend and the City Council may establish such conditions which in its judgment would carry out the purpose and intent of these regulations as a condition or conditions to the permitting of such conditional use. Thereupon the City Council may authorize or deny the issuance of a building permit for the use of land or buildings as requested;

(4) For each application for a conditional use permit, a fee as set by the City Council by motion or resolution shall be paid to the City Clerk-Treasurer. The cost of legal publication and required notices shall be the responsibility of the applicant, also each applicant shall submit an accurate legal description and map of the land and existing buildings. A certified abstractor's list of all owners of property located within 300 feet of subject property shall be submitted;

(5) The Planning Commission shall publish a notice of the public hearing in an official paper or a newspaper of general circulation in the city at least 15 days prior to the date of the public hearing giving the time and place of the public hearing and the proposed conditional use. Notice shall be mailed to all owners of property located within 300 feet of the subject property at least 20 days prior to the hearing;

(6) The City Council may make its approval of any conditional use permit subject to conditions when in its judgment compliance of the applicant to the conditions would diminish adverse impact of the desired use on surrounding uses. The conditions to be met shall be made an integral part of the City Council action authorizing the conditional use permit.

(B) The following are suggested permit conditions:

(1) The use is specifically identified and conforms to conditions listed in the zoning regulations;

(2) The proposed use is not injurious to the present use of the land nor prevents enjoyment of uses already permitted;

(3) The change should not impede normal or orderly development or improvement of surrounding property;

(4) Adequate utilities, access roads, drainage and other necessary facilities are provided;

(5) Sufficient off-street parking and loading spaces are available;

(6) The conditional use does not create a nuisance (odors, fumes, dust, noise and the like) in the area;

(7) If the use requires the applicant to obtain a license or permit from any other regulatory or governmental entity, such permit or license has been obtained;

(8) The permit is subject to periodic review and must be renewed as set out in these regulations. Any violation of the conditions results in automatic termination. If not used, conditional use permits are void after one year;

(9) The permit is not transferrable from one applicant to another, so that a change in possession of the property terminates a permit. Caveat: A new permit must be issued to any subsequent applicant who can satisfy the permit conditions;

(10) A permit or license fee may be charged in an amount which reflects the administrative costs of regulating the conditional use program.

('93 Code, § 12-297) (Ord. 1049, passed 10-11-83; Am. Ord. 1123, passed 3-8-88)

ORDINANCE NO. O-2021-33

**AN ORDINANCE AMENDING THE ZONING MAP OF THE ZONING CODE
AND DECLARING AN EMERGENCY**

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF DURANT, OKLAHOMA

SECTION 1. That the zoning map is hereby amended as to replace the C-2 Highway Commercial and Commercial Recreation District to the A-1, General Agriculture Zoning District for property located at 2201 S. 9th Avenue in Durant, and more particularly described as;

Tract 1: Beginning at a point 660 feet South and 177 feet West of the Northeast Corner of SE/4 of Section 6, Township 7 South, Range 9 East, and being a point on the West right of way line of U.S. Highways Nos. 69-75; Thence West for a distance of 603.2 feet; Thence South 23 degrees 50 minutes West for a distance of 501 feet; Thence South 74 degrees 10 minutes East for a distance of 660 feet to the West right of way line of said highways; Thence North 23 degrees 50 minutes East along said right of way for a distance of 100 feet; Thence deflecting to the left following the arc of a circle with a radius of 1480 feet for a distance of 265 feet; Thence North 12 degrees 58 minutes East for a distance of 300 feet to the Point of Beginning.

SECTION 2. For the immediate preservation of the peace, health, and safety of the City of Durant, Oklahoma and the inhabitants thereof, it is necessary that this ordinance shall become operative and go into effect immediately upon its passage, approval and publication.

PASSED AND APPROVED by the Mayor and City Council of the City of Durant this 9th day of November, 2021.

Oden Grube, Mayor
City Of Durant, Oklahoma

ATTEST:

Cynthia J. Price, City Clerk

RESOLUTION # R-2021-25

A RESOLUTION AUTHORIZING A CONDITIONAL USE PERMIT IN THE "A-1" AGRICULTURE DISTRICT FOR A PARCEL OF LAND LOCATED AT TRACT 1: BEGINNING AT A POINT 660 FEET SOUTH AND 177 FEET WEST OF THE NORTHEAST CORNER OF SE/4 OF SECTION 6, TOWNSHIP 7 SOUTH, RANGE 9 EAST, AND BEING A POINT ON THE WEST RIGHT OF WAY LINE OF U.S. HIGHWAYS NOS. 69-75; THENCE WEST FOR A DISTANCE OF 603.2 FEET; THENCE SOUTH 23 DEGREES 50 MINUTES WEST FOR A DISTANCE OF 501 FEET; THENCE SOUTH 74 DEGREES 10 MINUTES EAST FOR A DISTANCE OF 660 FEET TO THE WEST RIGHT OF WAY LINE OF SAID HIGHWAYS; THENCE NORTH 23 DEGREES 50 MINUTES EAST ALONG SAID RIGHT OF WAY FOR A DISTANCE OF 100 FEET; THENCE DEFLECTING TO THE LEFT FOLLOWING THE ARC OF A CIRCLE WITH A RADIUS OF 1480 FEET FOR A DISTANCE OF 265 FEET; THENCE NORTH 12 DEGREES 58 MINUTES EAST FOR A DISTANCE OF 300 FEET TO THE POINT OF BEGINNING.
KNOWN AS 2201 S. 9th Avenue

(Petition of Hazaleus Livestock / Durant Stockyards)

WHEREAS, a Public Hearing was held before the Durant Planning Commission regarding the proposed Conditional Use Permit contained in this Resolution; and

WHEREAS, the Durant Planning Commission has determined that the proposed communication tower is in general conformance with the goals of the Comprehensive Plan of the City of Durant if developed according to the conditions contained in the Resolution; and

WHEREAS, the Durant Planning Commission has determined that the proposed communication tower satisfies the criteria for conditional uses as set forth in the Zoning Code of the City of Durant if developed to the conditions contained in this Resolution; and

WHEREAS, the Durant Planning Commission has determined that there is a reasonable and proportionate connection between the conditions contained in the Resolution and the findings of fact contained in the staff report on Petition # PC2021-30; and

WHEREAS, the Durant Planning Commission has recommended approval of the conditions contained in the Resolution; and

WHEREAS, the City Council has reviewed the recommendation of the Durant Planning Commission and has determined that the Conditional Use Permit is appropriate.

NOW THEREFOR BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF DURANT, OKLAHOMA, AS FOLLOWS:

Section 1: A Conditional Use Permit is granted subject to all rules and regulations and to conditions set forth for the property described in Section 1 as follows:

- I. PERMITTED AND CONDITIONAL USES
 - a. Hazaleus Stockyard / Durant Stockyards may be permitted to construct a communication tower to be located at 2201 S. 9th Avenue.
- II. SPECIFIC DEVELOPMENT REQUIREMENTS
 - a. Building Codes – The communication tower shall meet the guidelines as stated in Title XV, Chapter 150 and Chapter 154, Code of Ordinances.

- b. Signage – Shall meet the guidelines as stated in Chapter 159, Code of Ordinances.
- c. Trash and Weeds – The area shall meet the requirements of §95.31, Trash and Weeds, Unlawful.
- d. Parking – Shall meet all parking requirements for off-street parking as stated in Chapter 157, Code of Ordinances.
- e. Lighting – Shall meet and follow the guidelines as stated in Chapter 157, Code of Ordinances.
- f. Fire Lanes and all Life Safety – As approved by the City of Durant Fire Marshal.

III. MISCELLANEOUS

- a. All applicable licenses and permits from other governmental and regulatory agencies must be obtained and kept current.

IV. LIMITATIONS

- a. The continuation of the use permitted by the resolution shall be dependent upon the conditions established under the permit and this section. In the event of a change of conditions or noncompliance with conditions, the City Council shall have the authority to revoke the Conditional Use Permit after affording the owner/operator the right to be heard.
- b. In the event of a disagreement between any owner/operator and the Director of Community Development as to whether the use of the site meets the criteria or conditions set forth in the resolution, such disagreement shall be submitted to the Planning Commission for recommendation to the City Council, which shall make the decision on such disagreement, provided the owner/operator shall have the right to appeal such decision pursuant to Chapter 158 of the City of Durant Code of Ordinances and to pursuant to any other available legal or equitable remedy.

Section 3: This Resolution shall be in full force and effect from and after its passage and approval.

PASSED AND APPROVED this 8th day of November 2021.

ODEN GRUBE, MAYOR
CITY OF DURANT, OKLAHOMA

ATTEST:

CYNTHIA J. PRICE
CITY CLERK

REZONING APPLICATION

Petition # PC2021-30

Fee \$ 300

APPLICANT INFORMATION

Name: <u>Self + Rebecca Hazaleus</u>	Email: <u>durantstacyards@gmail.com</u>	Phone #1: <u>580-380-6300</u>
Mailing Address: <u>2201 59th Ave.</u>	Phone #2	
City: <u>Durant</u>	State: <u>OK</u>	Fax #
Zip: <u>74701</u>		
Applicant's Interest in Property: <u>Owner</u>		

 Please use attached addendum if there is more than one applicant.

Physical Address of Rezoning Request: <u>2201 59th Ave.</u>			
<u> </u> Platted <u> </u> Un-Platted	Subdivision	Lot	Block
Legal Description: (If Un-platted) <u>Attached</u>			

 Deed Attached (required) if applicant is not owner listed on deed, owner consent must be included.

Request Rezoning From: <u>C-2</u>		Request Rezoning To: <u>AG</u>	
Present Use: <u>Livestock auction</u>		Proposed Use: <u>Livestock Auction / Communication Tower</u>	
Parcel Width: <u>NA</u> City Water	Parcel Length:	Acres:	Street/Road Frontage:
(If City Water will be extended or improvements will be made, please explain:)			
<u>NA</u> City Sewer	(If City Sewer will be extended or improvements will be made, please explain:)		
<u>NA</u> Private Water	<u>NA</u> Private Sewer		
Is Property in the Floodplain? <u>NO</u>	Is property in the Airport Zone? <u>NO</u>		

The applicant has prepared this application and supporting documentation and certifies that the facts stated herein and exhibits attached hereto are true and correct.

Signature of Applicant: [Signature] Date: 8/16/21

Office Use Only

3. List any other reasons to support this zone change.

We will need to change the zoning of the property to be in compliance with city ordinance

Changing the property from C-2 to AG will allow us to apply for a CUP with the city of Durant.

EXHIBIT 1

DESCRIPTION OF PROPERTY AND PREMISES

Page 1 of 3

to the Land Lease Agreement dated _____, 20____, by and between Hazaleus Livestock, LLC, a Oklahoma, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

PARENT TRACT DESCRIPTION

TRACT 1:

Beginning at a point 660 feet South and 177 feet West of the NE corner of SE/4 of Section 6, Township 7 South, Range 9 East, and being a point on the West right of way line of U.S. highways Nos. 69-70; Thence West for a distance of 603.2 feet; Thence South 23°50' West for a distance of 501 feet; Thence South 74°10' East for a distance of 660 feet to the West right of way line of said highways; Thence North 23°50' East along said right of way for a distance of 100 feet; Thence, deflecting to the left following the arc of a circle with a radius of 1480 feet for a distance of 265 feet; Thence North 12°58' East a distance of 300 feet to the point of beginning.

AND

TRACT IV:

*The North 20 feet of a tract of land situated in the SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, and more particularly described as: BEGINNING at a point on the West right-of-way line of Highway 69 and 75; Thence North 74°10' West for a distance of 660 feet; thence South 23°50' West for a distance of 660 feet; Thence South 74°10' East for a distance of 660 feet to a point on the West right-of-way line of U.S. Highway 69 and 75; thence North 23°50' East for a distance of 660 feet to the point of beginning.
(WARRANTY DEED AS RECORDED IN BOOK 1335, PAGE 136, DEED RECORDS OF BRYAN COUNTY, OKLAHOMA.)*

The Premises are described and/or depicted as follows:

LEASE SITE DESCRIPTION

A tract of land lying in and being a part of the SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Meridian, Bryan County, Oklahoma and being more particularly described in Book 1335, Page 136, Deed Records of Bryan County, Oklahoma; Said tract of land being more particularly described as follows:

Commencing at a 1/2" Iron Rod found for the Northeast Corner of said SE/4;

Thence S 00°36'39" E on the East line of said SE/4, a distance of 1,285.21 feet to a point; Thence S 89°23'21" W perpendicular to said East line, a distance of 369.31 feet to a 1/2" Iron Rod with cap set for the Southeast corner, said corner being the Point of Beginning;

Thence N 83°51'10" W a distance of 50.00 feet to a 1/2" Iron Rod with cap set for the Southwest corner; Thence N 06°08'50" E a distance of 50.00 feet to a 1/2" Iron Rod with cap set for the Northwest corner; Thence S 83°51'10" E a distance of 50.00 feet to a 1/2" Iron Rod with cap set for the Northeast corner; Thence S 06°08'50" W a distance of 50.00 feet to the Point of Beginning, containing 2,500.00 square feet or 0.057 acres, more or less.

ACCESS/UTILITY EASEMENT DESCRIPTION

A 30.00 foot wide easement for ingress, egress and utility purposes crossing a part of the SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Meridian, Bryan County, Oklahoma and being more particularly described in Book 1335, Page 136, Deed Records of Bryan County, Oklahoma; Said easement being 15.00 feet on each side of the following described centerline:

Commencing at a 1/2" Iron Rod found for the Northeast Corner of said SE/4;

Thence S 00°36'39" E on the East line of said SE/4, a distance of 1,226.10 feet to a point; Thence S 89°23'21" W perpendicular to said East line, a distance of 315.77 feet to a point on the West Public Right of Way line of Highway 69/75, said point being the point of beginning; Thence N 83°23'21" W a distance of 96.25 feet to the point of termination. Sidelines of said easement to be shortened or extended such as to begin on the West Public Right of Way line of highway 69/75 and terminate 15.00 feet on each side of the above described centerline.

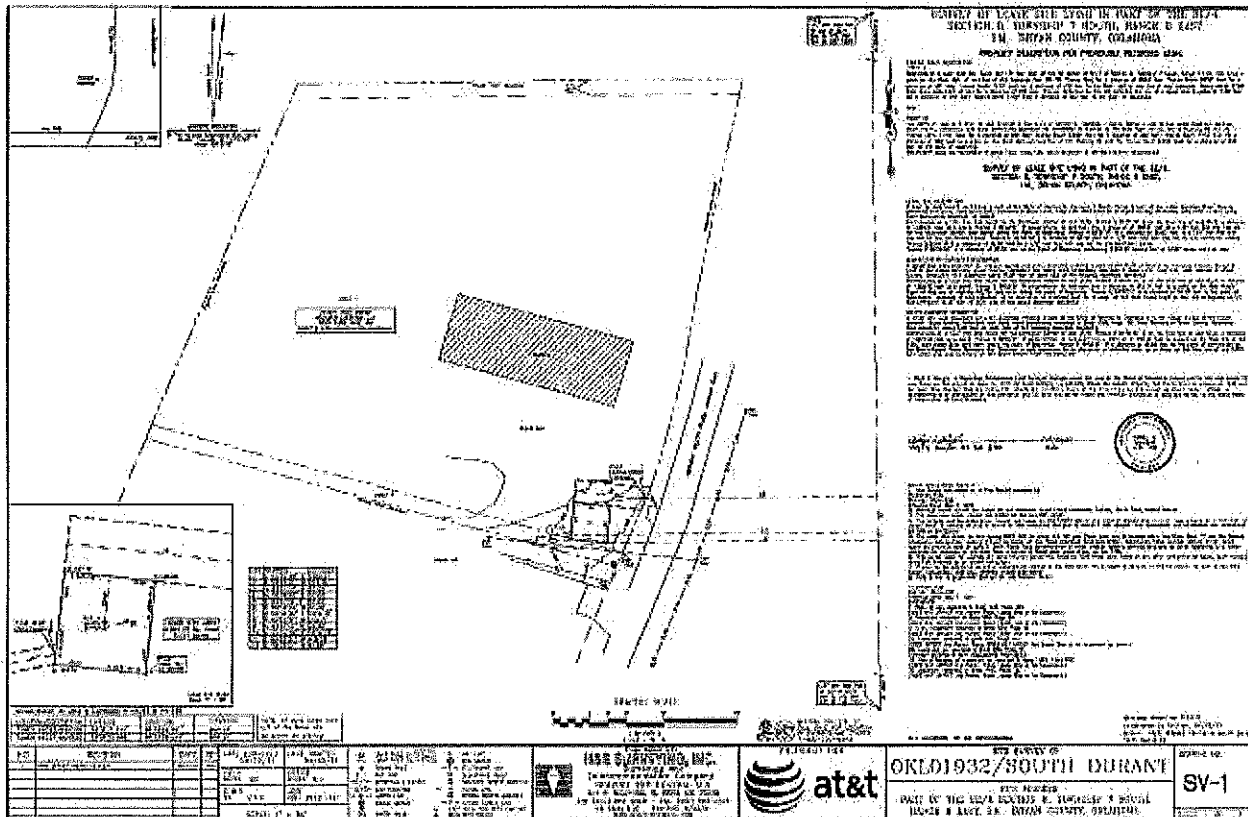
UTILITY EASEMENT DESCRIPTION

A 10.00 foot wide easement for utility purposes crossing a part of the SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Meridian, Bryan County, Oklahoma and being more particularly described in Book 1335, Page 136, Deed Records of Bryan County, Oklahoma; Said easement being 5.00 feet on each side of the following described centerline:

Commencing at a 1/2" Iron Rod found for the Northeast Corner of said SE/4;

Thence S 00°36'39" E on the East line of said SE/4, a distance of 1,274.13 feet to a point; Thence S 89°23'21" W perpendicular to said East line, a distance of 418.38 feet to a point on the West line of the 0.057 acre Lease Site, said point being the point of beginning;

Thence S 79°05'01" W a distance of 51.88 feet to the point of termination on the South Parent Tract Boundary line. Sidelines of said easement to be shortened or extended such as to begin on the West line of the 0.057 acre Lease site and terminate on the South Parent Tract Boundary line.



Notes:

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

CONDITIONAL USE APPLICATION

Petition # PC2021-30
 Fee \$ 300
 Expedited Fee \$ _____

APPLICANT INFORMATION

Name: <u>Hazaleus Livestock Auction (CRB Companies)</u>	Email: <u>ty.knoth@branchcomm.net</u>	Phone #1: <u>918-698-2940</u>
Mailing Address: <u>2201 S 9th Ave</u>	Phone #2: _____	
City: <u>Durant</u>	State: <u>OK</u>	Zip: <u>74701</u>
Fax #: _____		
Applicant's Interest in Property: <u>CRB represents ATT that has entered into an agreement with Hazaleus Livestock LLC</u>		

Please use attached addendum if there is more than one applicant.

Physical Address of Proposed Conditional Use: <u>2201 S 9th Ave. Durant OK 74701</u>		Name of Project: _____	
☐ Platted ☐ Un-Platted	Subdivision: _____	Lot: _____	Block: _____
Legal Description: (If Un-platted) <u>Please see attached Legal Description (56 T7 R9E)</u>			

Existing Zoning: <u>AG</u>	Proposed Conditional Use: <u>Communications Tower</u>		
Present Use: <u>Livestock Auction</u>	Parking Spaces Required: <u>NO</u>	Parking Spaces Provided: <u>-NA-</u>	
Parcel Width: _____	Parcel Length: _____	Acres: _____	Street/Road Frontage: <u>yes</u>
<u>NA</u> City Water (If City Water will be extended or improvements will be made, please explain:)			
<u>NA</u> City Sewer (If City Sewer will be extended or improvements will be made, please explain:)			
<u>NA</u> Private Water		<u>NA</u> Private Sewer	
Explain in your own words why your property should be rezoned. <u>213 Lots that are part of the parent tract are zoned AG</u>			

The applicant has prepared this application and supporting documentation and certifies that the facts stated herein and exhibits attached hereto are true and correct.

Applicant: [Signature] Date: 10-6-21
CRB Companies

Date Filed		Date Payment Received		Notification Mailed		Comments	
Initial		Initial		Date Initial			
Proof of Publication Received				Property Posting Verified		Comprehensive Plan Recommendations	
Date		Initial		Date		Initial	
Staff Recommendation ____ Approve ____ Deny		PC Recommendation ____ Approve ____ Deny		City Council Action ____ Approve ____ Deny		Ordinance #	

APPLICATION WILL NOT BE CONSIDERED COMPLETE WITHOUT THE FOLLOWING INFORMATION ADDRESSED:

Please describe the nature and operating characteristics of the proposed use:

Proposed use will move from commercial to AG that will coincide with the other lots in the parent tract. The property will remain a Livestock Auction and will also use a small section of the parking lot for a communications tower.

STATE HOW THE FOLLOWING ISSUES WILL BE ADDRESSED:

1. Parking:

This is an existing parking lot for the Livestock auction. This will be an unmanned facility. maximum of one parking spot will be used per visit to the tower location.

2. Screening of offensive areas (trash, loading areas, transformers, utility connections, detention ponds, etc.).

-NA- the fence can be modified to a privacy fence if this is required.

3. Traffic Impacts:

No traffic impact - will only affect the existing parking lot at the Livestock Auction.

4. Protection of Neighborhoods:

This area is surrounded by Agriculture and commercial use properties. Residential homes will not be in vicinity of the tower.

What licenses and permits (if any) are required for this proposed use?

we will have approved certifications from all organizations such as FAA - FCC and all govt agencies required for building a communications tower.

Please list or describe any other reasons to support this Conditional Use Permit Application.

Communications Towers are allowed per ordinance in AG zoned locations.

WARRANTY DEED
(Surface Rights Only)

KNOW ALL MEN BY THESE PRESENTS:

THAT Billy E. Perrin and Ann Perrin, husband and wife, parties of the first part, in consideration of the sum of Ten (\$10.00) and more Dollars, the receipt of which is hereby acknowledged, do by these presents, grants, bargain, sell and convey unto Hazaleus Livestock, LLC, an Oklahoma Limited Liability Company, PO Box 733, Durant, OK 74702, the property herein described, party of the second part, and its grantees and assigns, all of the following described real property and premises, situated in Bryan County, State of Oklahoma, to-wit:

See Exhibit "A"

together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto party of the second part, her grantees and heirs, forever, free, clear and discharged of and from all former grants, titles, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

SIGNED AND SEALED this 10 day of April, 2013.

STATE OF OKLAHOMA
Bryan County

Documentary Stamps \$ 2250.00

Billy E. Perrin
Billy E. Perrin

Ann Perrin
Ann Perrin

STATE OF OKLAHOMA)
) ss. ACKNOWLEDGMENT
COUNTY OF BRYAN)

BEFORE ME, the undersigned, a Notary Public, in and for said County and State, on this 10th day of April, 2013, personally appeared Billy E. Perrin and Ann Perrin, husband and wife, to me known to be the identical persons who executed the within and foregoing instrument, and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

WITNESS my hand and seal on this 10th day of April, 2013.

Tammy Wallace
Notary Public

My Commission expires: 03-28-15

STATE OF OKLAHOMA
Bryan County
Documentary Stamps \$ 2250.00

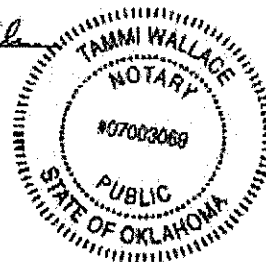


Exhibit "A"

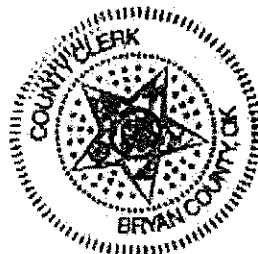
Tract I: Beginning at a point 660 feet South and 177 feet West of the NE corner of SE/4 of Section 6, Township 7 South, Range 9 East, and being a point on the West right of way line of U.S. Highways Nos. 69-75; Thence West for a distance of 603.2 feet; Thence South $23^{\circ}50'$ West for a distance of 501 feet; Thence South $74^{\circ}10'$ East for a distance of 660 feet to the West right of way line of said highways; Thence North $23^{\circ}50'$ East along said right of way for a distance of 100 feet; Thence, deflecting to the left following the arc of a circle with a radius of 1480 feet for a distance of 265 feet; Thence North $12^{\circ}58'$ East for a distance of 300 feet to the point of beginning.

Tract II: Beginning at the Southwest corner of the NE/4 SE/4; thence North a distance of 660 feet; Thence East a distance of 539.80 feet; Thence South $23^{\circ}50'$ West to the North boundary line of SE/4 of SE/4; Thence due West to the point of beginning at the Southwest corner of NE/4 of SE/4, all in Section 6, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, according to the Government Survey thereof.

Tract III: The E/2 NW/4 SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, according to the Government Survey thereof.

Tract IV: The North 20 feet of a tract of land situated in the SE/4 of Section 6, Township 7 South, Range 9 East of the Indian Base and Meridian, Bryan County, Oklahoma, and more particularly described as: BEGINNING at a point on the West right-of-way line of Highway 69 and 75; Thence North $74^{\circ}10'$ West for a distance of 660 feet; Thence South $23^{\circ}50'$ West for a distance of 660 feet; Thence South $74^{\circ}10'$ East for a distance of 660 feet to a point on the West right-of-way line of U.S. Highway 69 and 75; Thence North $23^{\circ}50'$ East for a distance of 660 feet to the point of beginning.

LESS AND EXCEPT, as to Tracts I, II, III and IV, all oil, gas, coal, and other mineral rights or interest currently outstanding of record and all oil, gas, coal and other mineral rights or interest currently not outstanding of record. It is the intent of Grantors to reserve unto Grantors all of the oil, gas, coal and other mineral rights or interest in which Grantors have a legal ownership or interest in and to Tracts I, II, III and IV.



1-2013-659047 Book 1335 Pg. 137
04/10/2013 3:28 pm Pg 0136-0137
Fee \$ 16.00 Doc: \$ 2,260.00
Tammy Reynolds - Bryan County Clerk
State of Oklahoma

2020 Real Estate Tax Bryan County, Oklahoma Item #23386.0**HAZALEUS LIVESTOCK, LLC (ALL)**

P O BOX 733
DURANT, OK 74702

PROPERTY DETAILS

Parcel A399-06-07S-09E-4-009-00 (All)
Acres 8.31
Addition
Block 7S
Lot 9E
Location DURANT

GROSS ASSESSED \$93,866.00

Property \$18,260.00
Improvements \$75,606.00
Miscellaneous \$0.00
Mobile home \$0.00
Exemption \$0.00
Net Assessed \$93,866.00

TAX DETAILS

Net Assessed Value \$93,866.00
Millage Rate 0.0960500
School District I-72 Rural
Total Tax \$9,016.00
Fees \$0.00
Penalties \$0.00
Unpaid Taxes \$0.00

RECEIPTS

Receipt #28824 for the amount of \$9,286.48.
Paid on Feb 23rd, 2021 by BRYAN
COUNTY TREASURER/DURANT
STOCKYARDS.

LEGAL DESCRIPTION

6-7-9 PT NESE LESS PT TO TAYLOR (DURANT
LIVESTOCK MKT CO) & BEG S660.0' &
W177.0' FROM THE NE/C OF THE SE. THENCE
W210.0', THENCE S60.0', THENCE E TO ROW
69-75, THENCE NE ALONG ROW TO POB.

General Info | Real Property | Values | Pictures | Change Before Comment

Map Aerial Pan Ag Info Mfn Info History Sales Easements AA & Changes	Record Type:	Real Estate	School District:	Durant City 177	
	Owner Number:	75,765.00 Add/Change	7	Item	AS 880000 58,301.00
	Owner Name:	HAZALEUS LIVESTOCK, LLC		Rx Code 1:	
			Rx Code 2:		
	Address 1:	P O BOX 133	Name Change:	4/10/2013 GR	
	Address 2:		Book/Page:	1315 136	
	Address 3:		Signal Date:	4/10/2013	
	City/State/Zip:	DURANT OK 74702 0723	Doc Stamp:	2,250.50	
	County:		☒ Multiple Parcels		
	Property Location Number: _____ Unit: _____ W/L: 3 Year 1, 2, 3, or 4 Or _____ Name: _____ Sub: _____ City: DURANT 23,386 Tax ID: _____				

Record will be Changed.

[Insert/Update](#)

[Cancel/Close](#)

[print this](#)

[Delete Request](#)

1.6 CHANGE ORDER PROCEDURE

- A. THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR THE WORK.
- B. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY, HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON AND NOT THE OTHER, IT SHALL BE ACCOMPLISHED AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH.
- C. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK STIPULATED IN THE CONTRACT.
- D. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DETERMINE THE METHOD OF THE PROCEDURE, TYPE AND QUANTITY OF MATERIALS TO BE USED.
- E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK, WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

1. 1.2 CONFLICTS

- c. MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO THE DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONTRACT DOCUMENTS. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THEM. ALL FINDINGS SHOULD BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.
- d. IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA BIDDERS MIGHT HAVE BEEN FULLY INFORMED PRIOR TO BIDDING. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

1.3 CONTRACTS AND WARRANTIES

1. PLAN REVIEW FEE.
2. BUILDING PERMIT FEE.
3. INSPECTIONS AND CONNECTIONS FEE.
4. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.

1.4 STORAGE

- MANUFACTURER, ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK.

1.5 CLEAN UP

- A. THE CONTRACTORS AT ALL TIME SHALL KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OF RUBBERH CAUSED BY THEIR EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBERH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCRAPOLDING AND RUBBERH, AND SHALL REMOVE ALL WASTE MATERIALS FROM THE WORK SITE AND EXTERIOR VISUALLY INSPECTED EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER RESIDUE MATTER.
- B. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES, IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSES DOWN THE EXTERIOR OF THE STRUCTURE.
- C. INTERIOR VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER FROM WALLS/FLOOR/CEILING.
- D. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES, IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSES DOWN THE EXTERIOR OF THE STRUCTURE.
- E. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.

1.12 INSURANCE AND BONDS

- A. CONTRACTOR AT THEIR OWN EXPENSE SHALL CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED AND SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGE TO THE OWNER. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.
- B. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICES.
- C. CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.

DIVISION 2 – SITE WORK AND DRAINAGE

1.1 WORK INCLUDED:

REFER TO THE SURVEY AND SITE PLAN FOR WORK INCLUDED

1.2 RELATED WORK

- ### B. INSTALLATION OF ANTENNA SUPPORT SYSTEM

1.5 SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
- B. IF REQUIRED, GRADE, SEED, FERTILIZED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER BRINGING THE SITE AND ACCESS ROAD TO BASE COURSE ELEVATION. WATER TO ENSURE GROWTH.
- C. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE.

1.7 WARRANTY

- A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO SURROUNDING PROPERTY CAUSED BY CONSTRUCTION.
- B. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.

2.1 MATERIALS

- A. SITE MATERIALS: FILL MATERIAL - ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH LOCAL, DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION STANDARDS SPECIFICATION.
SOIL STABILIZER FABRIC SHALL BE MIRAF - 500X
B. NON-STRUCTURAL SITE CONCRETE SHALL BE 3000 PSI BREAKING STRENGTH AT 28 DAYS. COMPLY WITH GENERAL PROVISIONS OF DIVISION 3 CONCRETE SPECIFICATIONS.

2.2 EQUIPMENT

- A. COMPACTING SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. LARGER AREA SHALL BE COMPACTED BY SHEEPS FOOT, VIBRATOR OR RUBBER TIRER ROLLERS WEIGHING AT LEAST FIVE TONS. WATER TREATMENT MAY BE REQUIRED TO OBTAIN COMPACTED. SMALLER AREAS SHALL BE COMPACTED BY POWER-DRIVE, HAND HELD TAMPERS.

3.1 INSPECTIONS

- LOCAL BUILDING INSPECTION SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.

3.2 PREPARATION

- A. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES BELOW ORIGINAL GROUND LEVEL.
- B. UNLESS OTHERWISE INSTRUCTED BY THE OWNER, REMOVE TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
- C. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, REMOVE SOFT SPOTS AND OTHER WEAK AREAS TO MEET STANDARD PRACTICE.
- D. PRIOR TO FILLING ANY CONDITIONS ENCOUNTERED, LINE THE GROUBED AREAS WITH STABILIZER AND PRIOR TO THE REPLACEMENT OF FILL OR BASE MATERIAL.

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3.3 INSTALLATION

- ALL EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE CLEARANCE OF THE SPOILS LEASE PROPERTY UNLESS AUTHORIZED BY PROJECT MANAGER, IN WRITING.
- THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND TO LEASE LINE.

3.4 FIELD QUALITY CONTROL

- COMPACTON SHALL BE 90% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 FOR SITE WORK AND 95% UNDER PLATFORM AREA. SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE.

3.5 QUALITY ASSURANCE

- ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE HOT-DIPPED GALVANIZED TO A MINIMUM OF 1.0 OUNCE PER SQUARE FOOT OF MATERIAL COATED. SHALL BE HOT-DIPPED IN GRADE E ZINC, 1.8 OUNCE PER SQUARE FOOT.

3.6 APPLICABLE STANDARDS

- ASTM-A120 SPECIFICATION FOR PIPE, STEEL, BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED).
- ASTM-A123 SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL.
- ASTM-A123 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL.
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- ASTM-A123 STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL.

SPECIAL CONSTRUCTION TOWER & ANTENNA INSTALLATION

1.1 WORK INCLUDED

- IF REQUIRED, ERECT FURNISHED TOWER.
- IF REQUIRED, ERECT FURNISHED TOWER.
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2.2 RELATED WORK

2.3 REQUIREMENTS OF REGULATOR AGENCIES

- FURNISH U.L. LISTED EQUIPMENT WHERE SUCH LABEL IS AVAILABLE. INSTALL IN CONFORMANCE WITH U.L. STANDARDS WHERE APPLICABLE.
- INSTALL ANTENNA, TOWER, AND GROUNDING SYSTEM IN ACCORDANCE WITH RECOMMENDATIONS OF STATE AND LOCAL BUILDING CODES, SPECIAL CODES HAVING JURISDICTION OVER SPECIFIC PORTIONS OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
- FA - FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR AC 70/7460-4H, STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.
- FCC - FEDERAL COMMUNICATIONS COMMISSION RULES AND REGULATIONS FOR STRUCTURES.
- ASCE - AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

5. NEC - NATIONAL ELECTRICAL CODE - ON TOWER LIGHTING KITS.

- UL - UNDERWRITERS LABORATORIES APPROVED ELECTRICAL PRODUCTS.
- IN ALL CASES, PART 77 OR THE FCC RULES AND PARTS 17 AND 22 OF THE FCC RULES ARE APPLICABLE AND IN THE EVENT OF CONFLICT, SUPERSEDE ANY OTHER STANDARDS OR SPECIFICATIONS.
- IBC 2015, IFC 2015, NFPA 101

3.3 INSTALLATION

- FOUNDATION CONSTRUCTION.
- THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND RIGHTS OF WAY FROM ALL AFFECTED PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND RIGHTS OF WAY FROM ALL AFFECTED PARTIES.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND RIGHTS OF WAY FROM ALL AFFECTED PARTIES.

3.5 PROTECTION

- PROTECT EXISTING AREAS FROM EROSION BY SPREADING STRAW TO A MINIMUM DEPTH OF 1-2 INCHES. STRAW AND MULCH WILL BE AN ACCEPTABLE ALTERNATE.
- ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED WITH HOSE PROTECTION WIRE AND SECURED TO 2 INCH X 2 INCH X 6 FEET TIE. ANGLE EXTENDING TWO FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
- ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION.

FENCE (IF REQUIRED)

1.1 WORK INCLUDED

- REFER TO SITE PLANS FOR SIZE AND LOCATION OF FENCE AND GATES TO BE INSTALLED.

1.2 RELATED WORK

- COORDINATE FENCE GRADING WITH ELECTRICAL SUBCONTRACTOR.
- REFER TO DIVISION 2 - CONCRETE FOR SPECIFICATION OF CONCRETE AND GROUT.

1.4 SEQUENCING

- IF THE SITE AREA HAS BEEN BROUGHT ON TO SURFACE COURSE ELEVATION PRIOR TO PRELIMINARY CONSTRUCTION, FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SIDE SURFACE COURSE.

1.5 SUBMITTALS

- MANUFACTURER'S DESCRIPTIVE LITERATURE.
- CERTIFICATE OF COMPLIANCE THAT SPECIFICATIONS HAVE BEEN MET.

2.1 FENCE MATERIAL

- ALL FABRIC WIRE, RAILS, POLES, HARDWARE AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
- FABRIC SHALL BE SIX FOOT HIGH (VENUE W/PROJECT MANAGER) TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.145") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FOR THE TOP AND BOTTOM EDGES. FABRIC SHALL CONFORM TO SPECIFICATIONS OF ASTM A-123. SCHEDULE 40 GALVANIZED STEEL PIPE AND SHALL BE TYPE 1 ASTM A-123 AND OF THE FOLLOWING DIAMETER (OD PER FENCE INDUSTRY STANDARD).
- ASTM A-123 AND OF THE FOLLOWING DIAMETER (OD PER FENCE INDUSTRY STANDARD).

- 2 5/8 INCHES
- 4 INCHES
- 4 INCHES

- ALL TOP AND BRACE RAILS SHALL BE 1 1/4" DIAMETER SCHEDULE - 40 MECHANICAL SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
- FRAMES SHALL BE SECURED IN PLACE BY USE OF GATE BRACE CLIPS.
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- FRAMES SHALL BE SECURED IN PLACE BY USE OF GATE BRACE CLIPS.

EXECUTION

3.1 EQUIPMENT

- EXCAVATE POST HOLES WITH MECHANICAL AUGER EQUIPMENT.

3.2 INSPECTION

- EXCAVATE POST HOLES PER CONSTRUCTION DOCUMENTS. CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS.

3.3 INSTALLATION

- POST FOUNDATIONS SHALL HAVE A MINIMUM SIX-INCH CONCRETE COVER UNDER POST.
- POST FOUNDATIONS SHALL HAVE A MINIMUM SIX-INCH CONCRETE COVER UNDER POST.
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- POST FOUNDATIONS SHALL HAVE A MINIMUM SIX-INCH CONCRETE COVER UNDER POST.

3.4 PROTECTION

- UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BRACKS WITH ZINC-BASED PAINT COLOR TO MATCH THE GALVANIZED PROCESS.

VENUE:



405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 528-6154



SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT 8911) 2201 S 9TH AVE
DURANT, OK 74701

ENGINEER:



NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/15/21	PRELIMINARY ISSUE	JMM
C	7/15/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM

GENERAL NOTES

SHEET NUMBER: PROJECT #:
OKL01932
GN2
BT: OKO BT:
JMM JMM
0

PROJECT NOTES

1. ALL REFERENCES TO THE OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED TBD OR ITS DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE OR SHE HAS THE NECESSARY SKILLS, KNOWLEDGE, AND ABILITY TO COMPLY WITH THE REQUIREMENTS OF THIS PROJECT AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF OK.
3. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE IBC 2015.
4. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND THE THE PROCEDURES TO BE USED ON THIS PROJECT.
5. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, CUTS OR THE DOWNS THAT MAY BE NECESSARY, SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
7. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS OR FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
8. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS, ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SUFFICIENT EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
10. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
11. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
12. IN APPLICABLE, ALL CONCRETE WORK SHALL COMPLY TO LOCAL CODES AND THE ACI 318-08.
13. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY, OR CITY) ENGINEER.
14. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
15. ALL TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
16. ALL TOWER MODIFICATION WORK SHALL BE IN ACCORDANCE WITH TA-1019-A STANDARD FOR INSTALLATION, ALTERATION AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS.

ABBREVIATIONS

A - AMPERE	PNL - PANEL
AFS - ABOVE FINISHED GRADE	PULD - PANEL BOARD
AMS - AUTOMATIC TRANSFER SWITCH	PVC - SCH 40 RIGID NON-METALLIC CONDUIT
AWG - AMERICAN WIRE GAUGE	RGS - RIGID GALVANIZED STEEL CONDUIT
BCW - BARE COPPER WIRE	SW - SWITCH
BFG - BELOW FINISHED GRADE	TGB - TOWER GROUND BAR
BKR - BREAKER	UL - UNDERWRITERS LABORATORIES
C - CONDUIT	V - VOLTAGE
CRT - CIRCUIT	W - WATTS
DISC - DISCONNECT	XFRM - TRANSFORMER
EGR - EXTERNAL GROUND RING	XMTT - TRANSMITTER
EMT - ELECTRIC METALLIC TUBING	
FSC - FLEXIBLE STEEL CONDUIT	
GEN - GENERATOR	
GFS - GLOBAL POSITIONING SYSTEM	
GRO - GROUND	
IGB - ISOLATED GROUND BAR	
IGR - INTERIOR GROUND RING (HALO)	
KW - KILOWATTS	
NED - NATIONAL ELECTRIC CODE	
PCS - PERSONAL COMMUNICATION SYSTEM	
PH - PHASE	

LEGEND

-----UG-----	UNDERGROUND ELECTRICAL CONDUIT
---UGT---	UNDERGROUND TELEPHONE CONDUIT
⊗	KILOWATT - HOUR METER
-----	UNDERGROUND BONDING AND GROUNDING CONDUCTOR
●	GROUND ROD
▲	CADWELD
⊗	GROUND ROD WITH INSPECTION WELL
■	MECHANICAL CONNECTION

VENDOR:



405 N. BROADWAY, 7TH FLOOR
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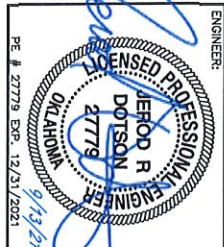
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COA. 8625 EXP. 6/30/2022

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT OK 74701



NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM
SHEET TITLE: GENERAL NOTES			
SHEET NUMBER: PROJECT # 27779			
REV: OKD 877			
GN4			
0			



1 OVERALL LAYOUT PLAN

SCALE: N.T.S.



SEE SHEET A6 FOR CIVIL DETAILS

TRUE NORTH
(2.70° E)
MAG

SHEET NUMBER/PROJECT #		REVISIONS	
L1		0	
BY:	CMD	BY:	JWM
DATE:	9/13/21	DATE:	9/13/21

ENGINEER:

PROFESSIONAL ENGINEER

OKLAHOMA

27779

9/13/21

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
NOT E911 2201 S 9TH AVE
DURANT OK 74701

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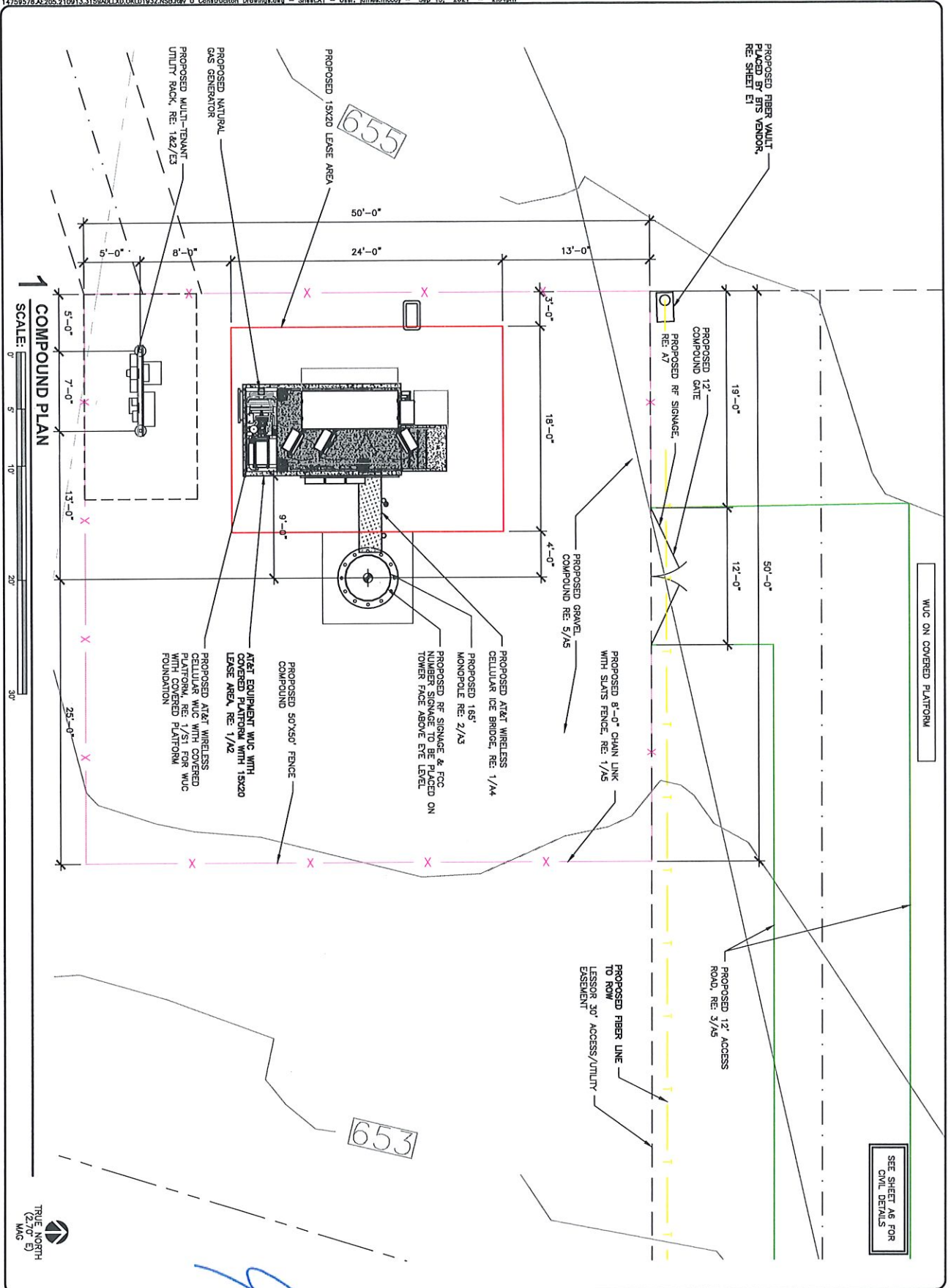
CRB
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715 SOUTH LEWIS AVE. STE. 300
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VENDOR:

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CRB COMPANIES LLC CRB COMPANIES, LLC 7335 SOUTH LEWIS AVE STE 300 TULSA, OKLAHOMA 74136 (918) 949-4351		at&t Your World. Delivered. 405 N BROADWAY, 27TH FLOOR OKLAHOMA CITY, OK 73102 PH: (405) 528-8134																				
Branch ENGINEERING LLC BRANCH ENGINEERING LLC 7335 SOUTH LEWIS AVE, STE. 300 TULSA, OKLAHOMA 74136 (918) 949-4351		PRODUCTION BY: Branch ENGINEERING LLC BRANCH ENGINEERING LLC 7335 SOUTH LEWIS AVE, STE. 300 TULSA, OKLAHOMA 74136 (918) 949-4351																				
SITE NAME: SOUTH DURANT SITE NUMBER: OKL01932 SITE ADDRESS: (NOT E911) 2201 S 9TH AVE. DURANT OK 74701		ENGINEER: JEFF R DOTSON 27779 OKLAHOMA PE # 27779 EXP. 12/31/2021 9/13/21																				
SHEET TITLE: COMPOUND PLAN SHEET NUMBER/PROJECT #: A1 / OKL01932 BY: JMM EXP: 9/13/21 REV: 0		REVISIONS: <table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>7/15/21</td> <td>PRELIMINARY ISSUE</td> <td>JMM</td> </tr> <tr> <td>B</td> <td>7/16/21</td> <td>PRELIMINARY ISSUE</td> <td>JMM</td> </tr> <tr> <td>C</td> <td>7/19/21</td> <td>PRELIMINARY ISSUE</td> <td>JMM</td> </tr> <tr> <td>D</td> <td>9/13/21</td> <td>CONST. ISSUE</td> <td>JMM</td> </tr> </tbody> </table>	NO	DATE	DESCRIPTION	BY	A	7/15/21	PRELIMINARY ISSUE	JMM	B	7/16/21	PRELIMINARY ISSUE	JMM	C	7/19/21	PRELIMINARY ISSUE	JMM	D	9/13/21	CONST. ISSUE	JMM
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 Your World. Delivered.		405 N. BROADWAY, 7TH FLOOR OKLAHOMA CITY, OK 73102 PH: (405) 529-8134		 COMPANIES LLC CRB COMPANIES, LLC 7355 SOUTH LEXINGTON AVE STE 300 TULSA, OKLAHOMA 74138 (918) 949-4551		PRODUCED BY:  Branch ENGINEERING, LLC. BRANCH ENGINEERING, LLC 7355 SOUTH LEXINGTON AVE STE 300 TULSA, OKLAHOMA 74138 (918) 949-4551 COA. 8525 EXP. 6/30/2022		SITE NAME: SOUTH DURANT SITE NUMBER: OKL01932 SITE ADDRESS: (NOT 9311) 2201 S 9TH AVE. DURANT OK 74701		ENGINEER:  JEROD R. DOTSON 27779 OKLAHOMA PE # 27779 EXP. 12/31/2021		SHEET TITLE: EQUIPMENT LAYOUT SHEET NUMBER/PROJECT #: REVISION A2 OKL01932 DTG. CND DTG. 0 JMM JMM	
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THESE DRAWINGS ARE NOT INTENDED TO REFLECT THE STRUCTURAL INTEGRITY OF THE TOWER. THE PROPOSED ANTENNAS AND TRANSMISSION LINES SHOWN ARE REPRESENTATIVE IN NATURE AND DO NOT REFLECT THE ACTUAL CONFIGURATIONS REQUIRED. THE CONTRACTOR SHALL REFER TO THE STRUCTURAL ANALYSIS OF THIS TOWER SITE FOR THE APPROVED LOCATION AND CONFIGURATION OF ALL ANTENNAS AND TRANSMISSION LINES. ALL ANTENNAS MUST BE LOCATED AND THE TRANSMISSION LINES MUST BE LOCATED IN STRICT ACCORDANCE WITH THE STRUCTURAL ANALYSIS (TOWER BY OTHERS).

NOTES:
CONTRACTOR TO COMPLY WITH ALL FCC AND FAA REGULATIONS ON THIS PROJECT

NOTES:
NO MODIFICATION OF TOWER ADDITIONS SHALL BE MADE WITHOUT APPROVED STRUCTURAL ANALYSIS PREPARED BY OTHERS

NOTES:
GENERAL CONTRACTOR TO BE PREPARED TO DETAIL PROPOSED OVERALL TOWER HEIGHT DIMENSION CONSTRUCTION CONTRACTOR TO VERIFY TRUE HEIGHT WITH TAPE DROP

GENERAL CONTRACTOR TO OBTAIN LATEST RDS BEFORE CONSTRUCTION FOR EQUIPMENT VERIFICATION

REFER TO STRUCTURAL ANALYSIS TO DETERMINE FEEDLINE FLACEMENT

ALL STEEL SHALL BE HOT-DIPPED GALVANIZED

ANTENNA ARRAY MOUNTING HARDWARE SHALL BE PROVIDED BY TOWER MANUFACTURER. CONTRACTOR TO BID SEPARATELY

REFER TO RDS FOR ANTENNA MOUNTING HEIGHTS, MODEL, NUMBER, AZIMUTHS, ETC.

NOTES:
TOWER MANUFACTURER'S SPECIFICATIONS, FABRICATION, AND CONCRETE FOUNDATION DESIGN WILL BE PROVIDED BY TOWER MANUFACTURER. THESE PLANS IS REPRESENTATIVE ONLY TO THE TOWER TYPE.

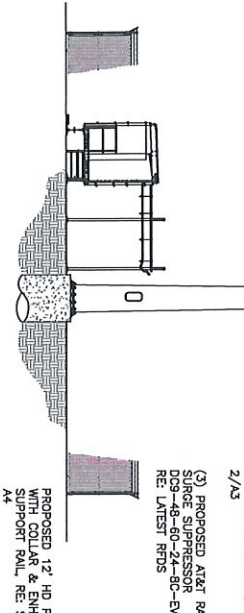
NOTES:
GENERAL CONTRACTOR TO COMPLY WITH NIP PACKAGE PROVIDED BY TOWER OWNER

- TOP OF TOWER
ELEV. = 165'
- AT&T ANTENNAS
ELEV. = 160'
- FUTURE
ELEV. = 150'
- FUTURE
ELEV. = 140'
- FUTURE
ELEV. = 130'

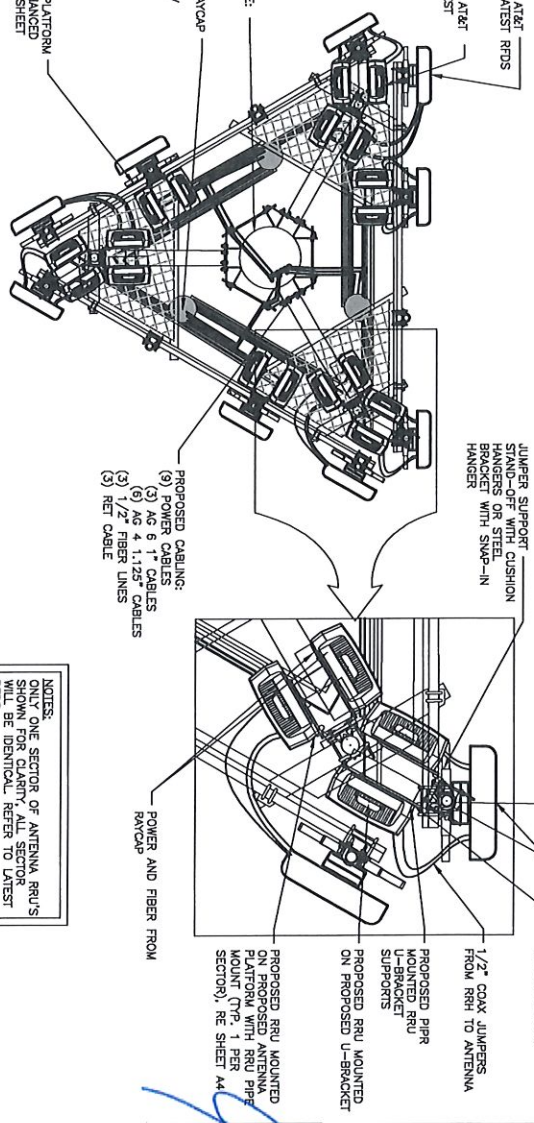
PROPOSED 165' MONOPOLE

CABLE NOTE:
1. CABLE ATTACHMENTS SHOULD FOLLOW MANUFACTURER'S SPECIFICATIONS FOR ATTACHMENT AND HANGING SPECIFICATIONS PER STRUCTURAL ANALYSIS.

NOTES:
1. SIZE, HEIGHT AND DIRECTION OF THE ANTENNA SHALL BE ADJUSTED TO MEET AT&T SUPPLIED RDS
2. CONTRACTOR SHALL VERIFY HEIGHT OF ANTENNA WITH PROJECT MANAGER
3. ALL ANTENNA AZIMUTH TO BE FROM TRUE NORTH.



1 TOWER ELEVATION
SCALE: N.T.S.



2 TYPICAL ANTENNA AZIMUTH PLAN (TOP VIEW)
SCALE: N.T.S.

ANTENNA CABLE AND ACCESSORY NOTES AND REQUIREMENTS:

- GENERAL: PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY FOR RECEIVING, CONNECTIONS AT THE BASE TRANSMISSION SYSTEM (BTS). THIS SHALL INCLUDE ALL EQUIPMENTS SHOWN OR REQUIRED FOR A COMPLETE OPERATING SYSTEM, ANTENNA, ANTENNA CABLES, CONNECTORS, AND FITTING SHALL BE THIRD PARTY FURNISHED COMPONENTS AS SHOWN ON THE BILL OF MATERIALS
- MATERIALS:
2.1. ANTENNA CABLES: AS SCHEDULED
2.2. ANTENNA CONNECTORS: AS SCHEDULED
2.3. CABLE HANGERS: INSTALLED A MAXIMUM 4' SPACING
2.4. GROUND KITS: AS SPECIFIED
- INSTALLATION:
3.1. ANTENNA CABLE LENGTHS SHALL BE FIELD MEASURED. INSTALLER SHALL NOTIFY AT&T PRIOR TO PURCHASE OF CABLES OF THE OVERALL LENGTH REQUIRED. IN ACCORDANCE WITH AT&T ELECTRICAL MATERIALS AND METHODS SPECIFICATIONS.
3.2. ALL CABLES SHALL BE FIELD MEASURED. IN ACCORDANCE WITH AT&T ELECTRICAL MATERIALS AND METHODS SPECIFICATIONS.
3.3. ALL CABLE CONNECTIONS OUTSIDE SHALL BE COVERED WITH WEATHERPROOFING TAPE.
3.4. THE MINIMUM BENDING RADIUS FOR ALL ANTENNA CABLES SHALL BE AS SHOWN BELOW OR PER THE MANUFACTURER, WHICHEVER IS MORE CONSERVATIVE:
CABLE IN AIR OR CABLE TRAY IN CONDUIT
1/2" 5' 10" 18"
7/8" 10" 20" 28"
1 5/8" 20" 28"
- CABLES SHALL BE INSTALLED WITH THE MINIMUM NUMBERS OF BENDS. CABLE SHALL NOT BE LEFT UN-TERMINATED IN THE FIELD.
- GROUND KITS- AFTER INSTALLATION OF GROUND STRAPS, THE CONNECTIONS SHALL BE MADE WEATHER TIGHT USING WEATHERPROOF KITS AS IDENTIFIED ABOVE. GROUND PIGTAILS SHALL BE BROUGHT OUT IN THE DOWNWARD DIRECTION FROM THE CONNECTION TO THE ANTENNA CABLE WITHOUT ANY SHARP BENDS (MINIMUM RADIUS 10") AND CONNECTION SHALL BE MADE TO GROUNDING SYSTEM.



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COL. 5525 EXP. 6/30/2022

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT, OK 74701

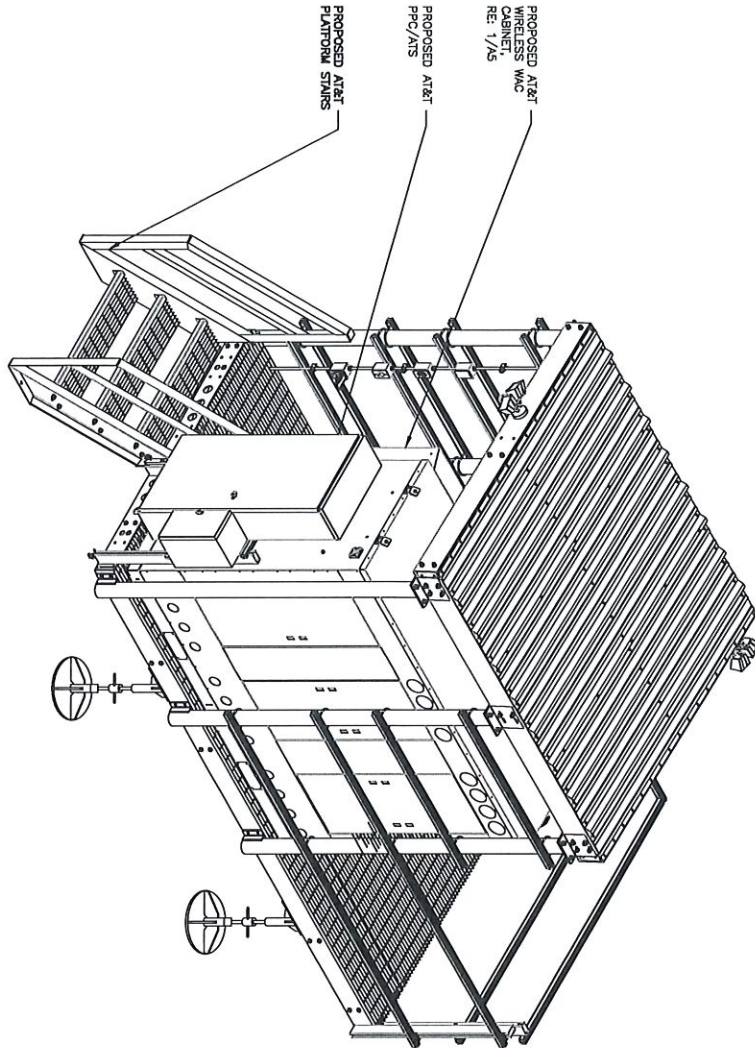


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D	9/13/21	CONST. ISSUE	JMM

SHEET TITLE:
TOWER ELEVATION, ORIENTATION & DETAILS
SHEET NUMBER: PROJECT # OKL01932
BT: CWD BT
A3 0

1 ELEVATED PLATFORM

SCALE: N.T.S.



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A	7/15/21	PRELIMINARY ISSUE	JMW
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C	7/19/21	PRELIMINARY ISSUE	JMW
D	9/13/21	CONS. ISSUE	JMW

PE # 27779 EXP. 12/31/2021

9/13/21

JEFF R DOTSON
27779
OKLAHOMA
PROFESSIONAL ENGINEER

ENGINEER:

SITE NAME:
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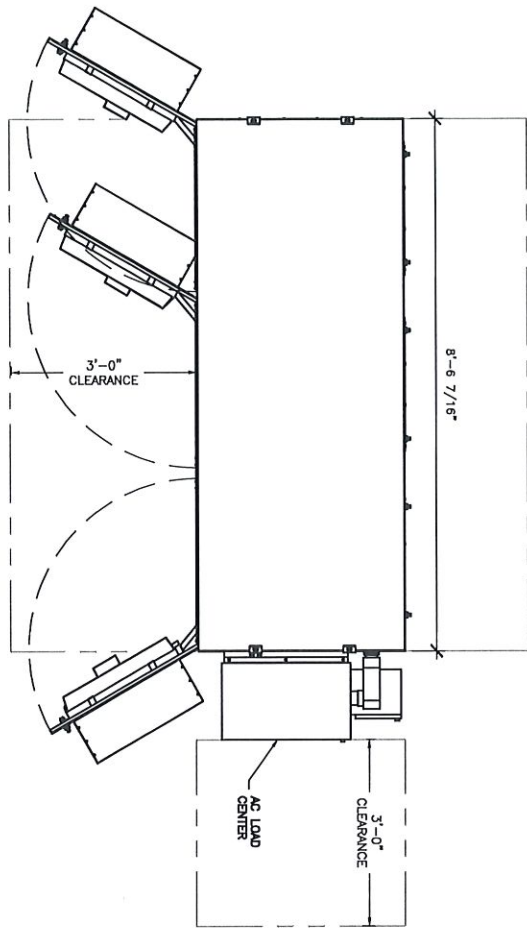
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COMPANIES LLC

CRB COMPANIES, LLC
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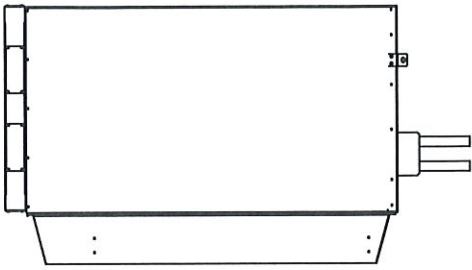
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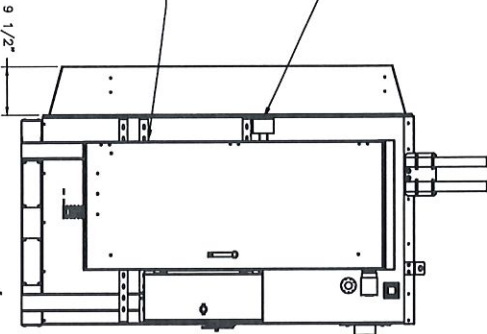
1 TYPICAL WALK UP CABINET PLAN VIEW

SCALE: 0' 1' 5'



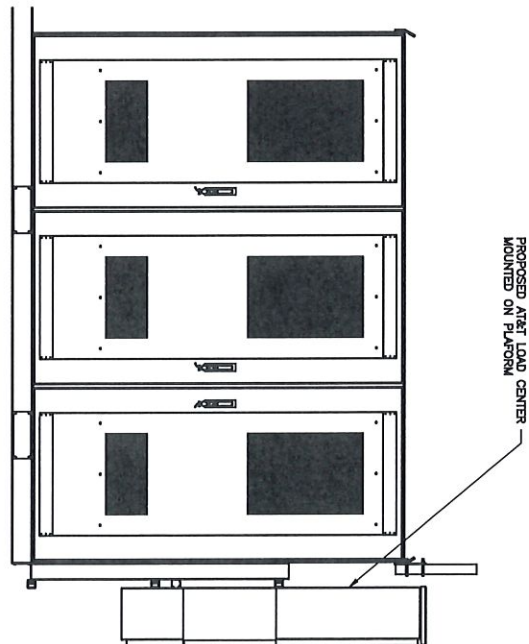
3 TYPICAL WALK UP CABINET SIDE ELEVATION

SCALE: 0' 1' 5'



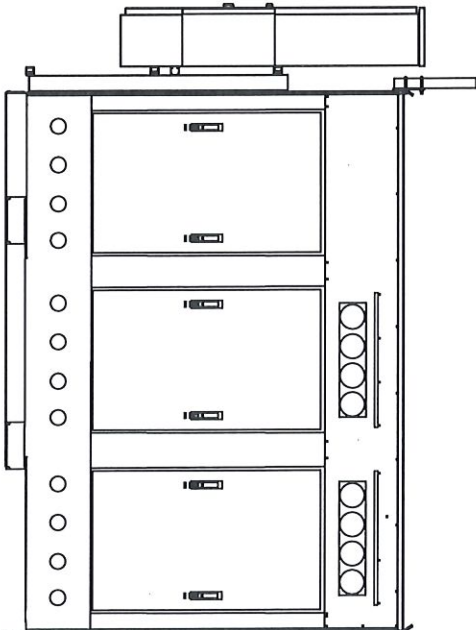
4 TYPICAL WALK UP CABINET SIDE ELEVATION

SCALE: 0' 1' 5'



2 TYPICAL WALK UP CABINET FRONT ELEVATION

SCALE: 0' 1' 5'



5 TYPICAL WALK UP CABINET BACK ELEVATION

SCALE: 0' 1' 5'

LEGEND:



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COA, 8525 EXP. 6/30/2022

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SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT OK 74701

ENGINEER:

PROFESSIONAL ENGINEER
JEROD R DOTSON
27779
OKLAHOMA
9/13/21
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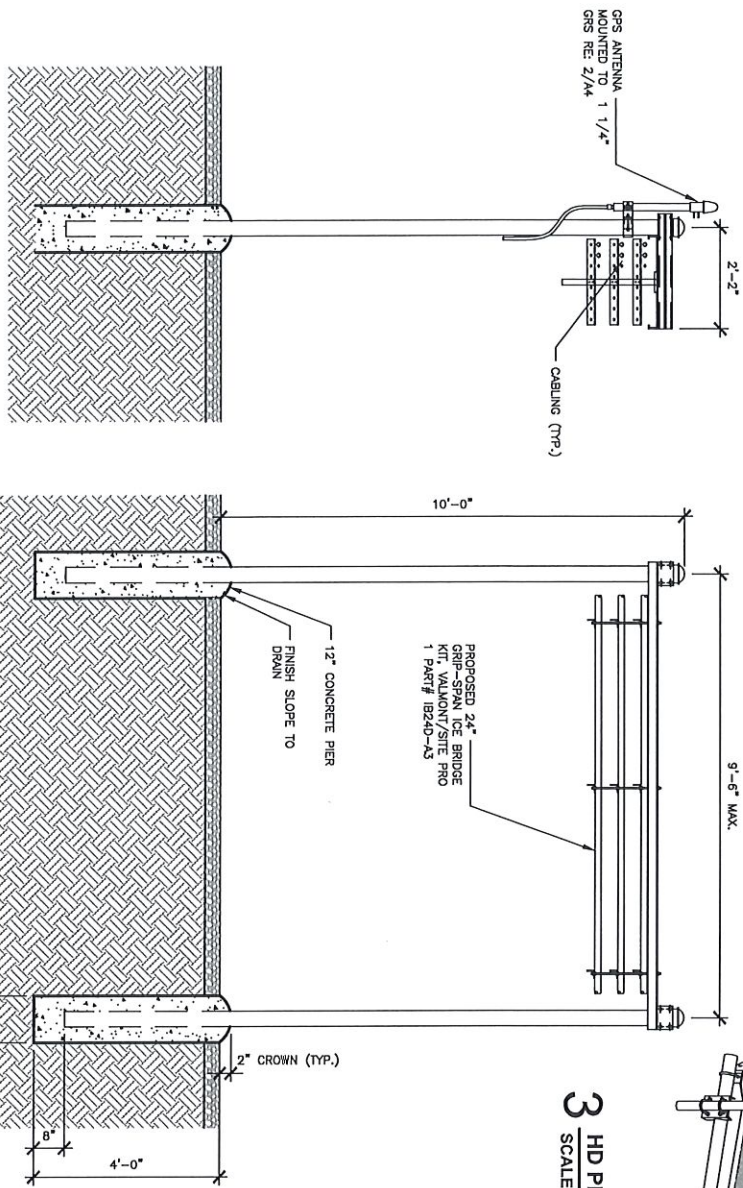
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WUC DETAILS

SHEET NUMBER/PROJECT #:
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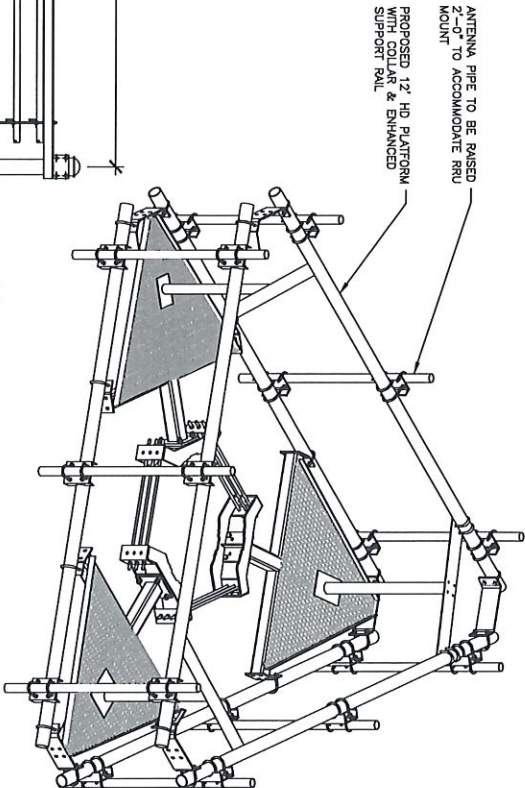
1 ICE BRIDGE DETAILS

SCALE: N.T.S.



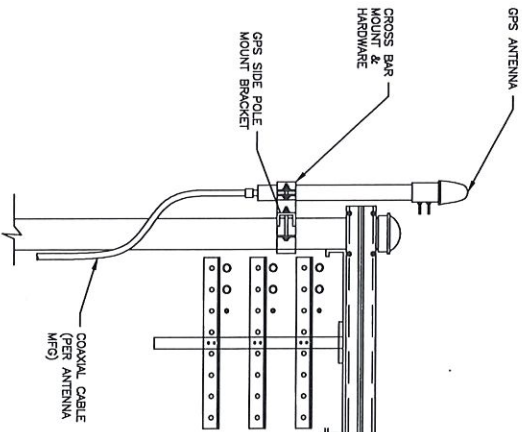
3 HD PLATFORM WITH SUPPORT RAILS

SCALE: N.T.S.



2 GPS ANTENNA MOUNTING DETAIL

SCALE: N.T.S.



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D	9/13/21	CONSIST. ISSUE	JWM



ENGINEER:
SITE NAME: SOUTH DURANT
SITE NUMBER: OKL01932
SITE ADDRESS: (NOR E911) 2201 S 9TH AVE.
 DURANT OK 74701

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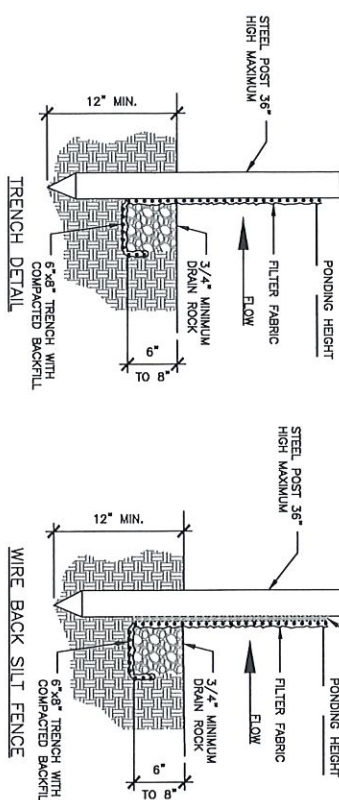
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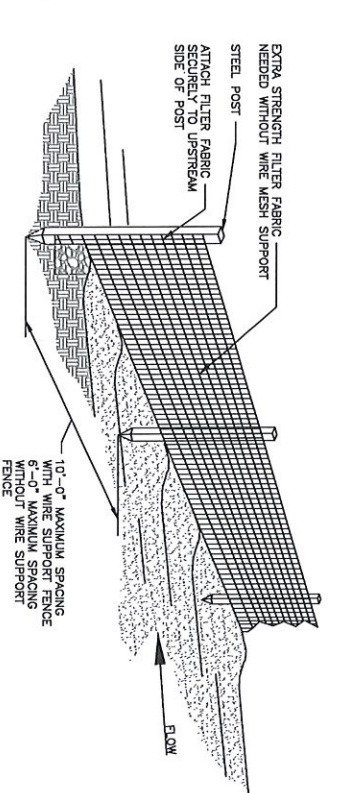
3
SCALE: N.T.S.

- SILT FENCE INSTALLATION:**
1. THE FENCE SHOULD BE PLACED ALONG A LINE OF UNIFORM ELEVATION (PERPENDICULAR TO THE SLOPE) TO PREVENT THE FENCE FROM BEING A HURDLE TO THE FLOW OF WATER. THE FENCE SHOULD BE PLACED AT LEAST 18" FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEAN OUT.
 2. DRIVE THE STEEL POST AT LEAST 18" INTO THE GROUND, SPACING THEM NO FURTHER THAN 8'-0" APART.
 3. POST SHOULD BE INSTALLED WITH 1" TO 2" OF THE POST PROTRUDING ABOVE THE TOP OF THE FABRIC AND NO LESS THAN 3'-0" OF THE POST PROTRUDING ABOVE THE GROUND. THE MINIMUM FENCE HEIGHT (HEIGHT OF FILTER ABOVE GRADE) SHALL BE 24". THE MAXIMUM FENCE HEIGHT (HEIGHT OF FILTER FABRIC ABOVE GRADE) SHALL BE 36".
 4. THE FILTER FABRIC SHOULD BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO LENGTH OF THE BARRIER TO AVOID THE NEED FOR SEAMS. SEAMS ARE ALLOWED ONLY AT A SUPPORT POST.
 5. THE FILTER FABRIC SHOULD BE SECURELY FASTENED TO THE POST WITH MINIMUM 6" OVERLAP.
 6. PLACE THE BOTTOM 18" OF THE FILTER FABRIC TO SECURELY FASTEN IT TO THE UPSLOPE SIDE OF THE POSTS. THE STAPLES USED SHOULD BE 1.5" HEAVY-DUTY WIRE STAPLES SPACED AT A MAXIMUM OF 8" OVERLAP.
 7. PLACE THE BOTTOM 18" OF THE FILTER FABRIC INTO THE 12" DEEP TRENCH, EXTENDING THE REMAINING 4" TOWARDS THE UPSIDE OF THE TRENCH AND BACK FILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACTED.

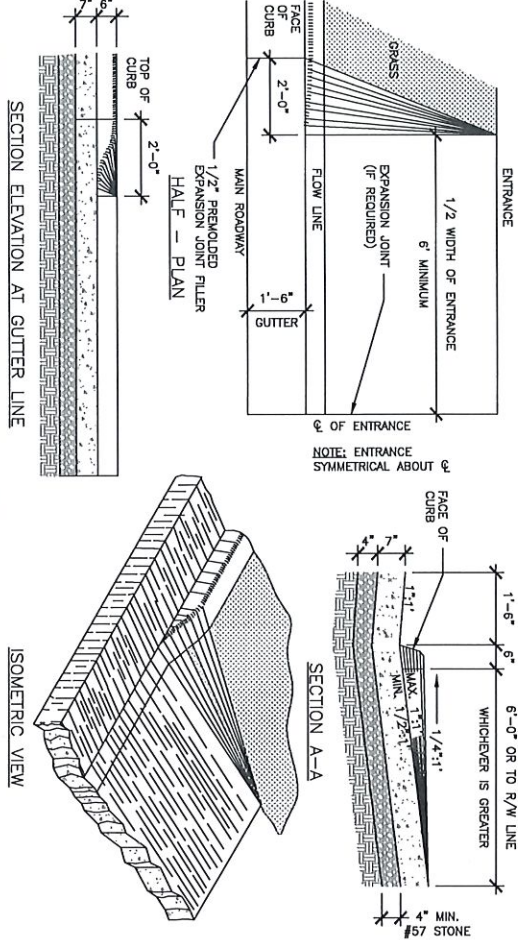
SILT FENCE INSTALLATION:



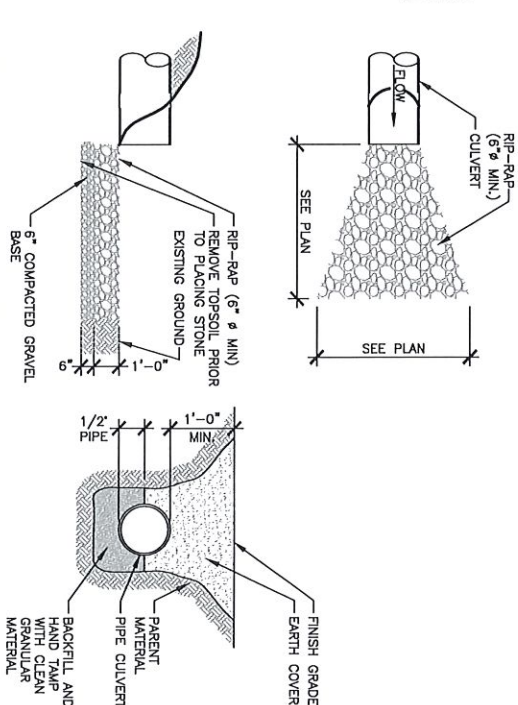
INSPECTION AND MAINTENANCE:



1
SCALE: N.T.S.



2
SCALE: N.T.S.



ENGINEER:	
	
PE # 27778 EXP. 12/31/2021	
9/19/21	

NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/15/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONSTR. ISSUE	JMM

SHEET TITLE:	
CIVIL DETAILS	
SHEET NUMBER/PROJECT #	
OKL01932	
REVISION:	
A8	BY: OKD BTJ
JMM	JMM
0	

ENGINEER:

PROFESSIONAL ENGINEER

OKLAHOMA

27779

OKLAHOMA

9/13/21

OKL01932

SITE NAME:

SOUTH DURANT

SITE NUMBER:

OKL01932

SITE ADDRESS:

(NOT E911) 2201 S 9TH AVE.

DURANT OK 74701

PRODUCED BY:

Branch

ENGINEERING LLC.

BRANCH ENGINEERING LLC

7335 SOUTH LEWIS AVE. STE. 300

TULSA, OKLAHOMA 74136

(918) 949-4551

COA. 8525 EXP. 6/30/2022

CRB

COMPANIES LLC

CRB COMPANIES LLC

7715 SOUTH LEWIS AVE. STE. 300

TULSA, OKLAHOMA 74136

(918) 949-4551

at&t

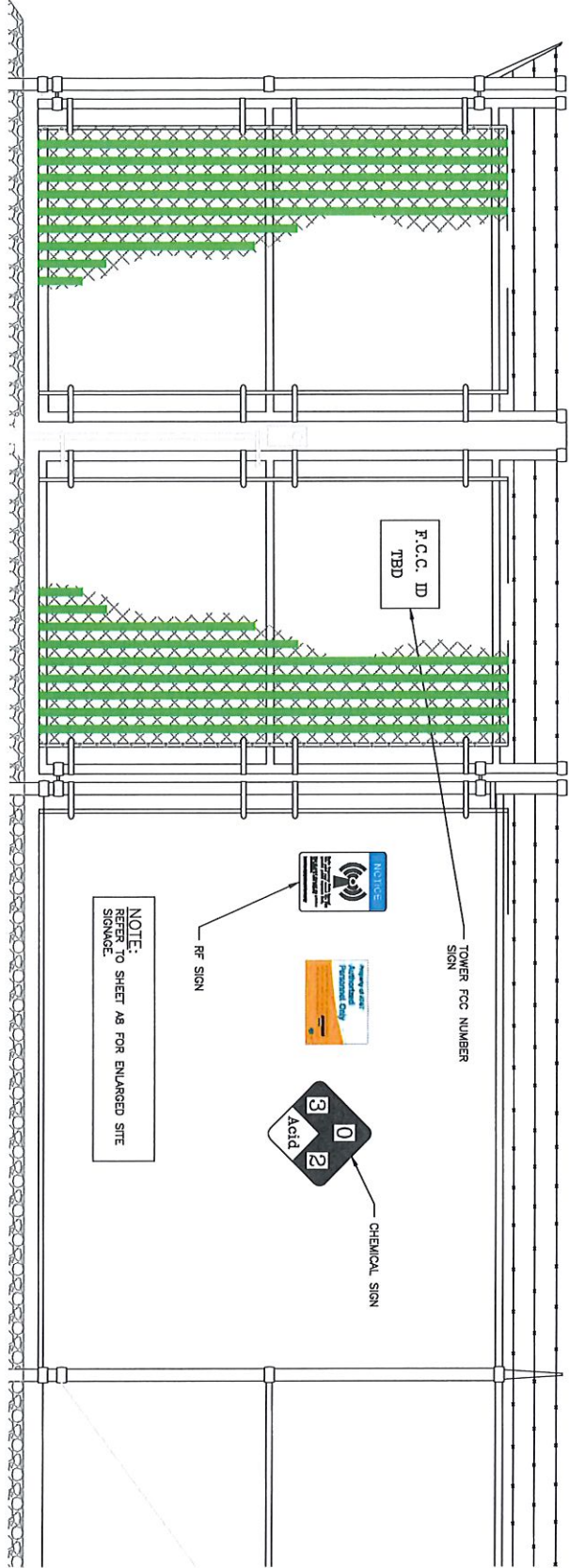
405 N. BROADWAY, 7TH FLOOR

OKLAHOMA CITY, OK 73102

PH: (405) 529-8134

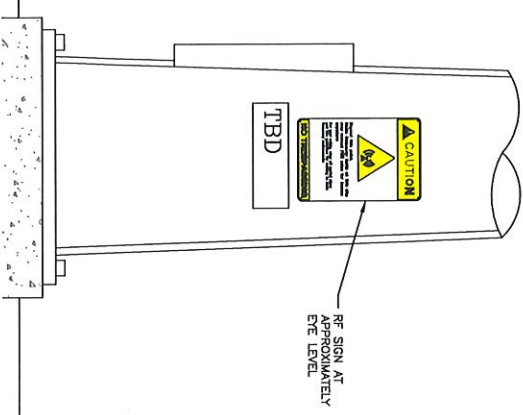
1 FENCING SIGN DETAIL

SCALE: N.T.S.



2 TOWER SIGN DETAIL

SCALE: N.T.S.



ENGINEER:

PE # 27779, Exp. 12/31/2021

NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM

SHEET TITLE:

SITE SIGNAGE

SHEET NUMBER: REVISION:

PROJECT #:

A9

BY: CWD BY: JMM

JMM

0

INFORMATION

ACTIVE ANTENNAS ARE MOUNTED ON THE OUTSIDE OF THIS BUILDING BEHIND THIS PANEL ON THIS STRUCTURE. STAY BACK A MINIMUM OF 3 FEET FROM THESE ANTENNAS.

OKL01932

INFORMATION

OKL01932

1 SIGNAGE DETAIL

SCALE: N.T.S.

PRIVATE
PROPERTY

NO
TRESPASSING

VIOLATORS WILL
BE PROSECUTED

4 SIGNAGE DETAIL

SCALE: N.T.S.

FOR AT&T-OWNED CELL TOWERS AND OTHER-OWNED TOWERS WHERE AT&T MOBILITY IS PERMITTED TO POST RF SAFETY SIGNAGE, THE TYPICAL RF EXPOSURE SIGNAGE CONSISTS OF AN "INFORMATION" SIGN INSTALLED ON ENTRANCE GATES OR ADJACENT TO THE "CAUTION" SIGNS REQUIRED TO BE INSTALLED AT ACCESSES TO EACH CLIMBING LADDER AT THE TOWER. "INFORMATION" SIGNS ARE NO LONGER PERMITTED TO BE INSTALLED ON EQUIPMENT CABINETS OR BUILDINGS.

GLASS MAIN ENTRY DOORS MAY BE "BRANDED" WITH AT&T MOBILITY LOGO PROVIDING THIS IS NOT A LIGHTED / "MARQUEE" SIGN. IN CERTAIN CASES WHERE A SITE IS UNMANNED, EXTERIOR DOOR SIGNS MAY BE OMITTED TO PREVENT DRAWING UNDUE ATTENTION TO THE SITE FOR BUSINESS TYPES OF SITES. THESE SIGNS SHALL BE USED IN A STEADY AND INVISIBLE MANNER. IT IS THE RESPONSIBILITY OF THE MARKETER TO MAKE PRUDENT DECISIONS FOR UNMANNED CORE SITES ON A CASE BY CASE BASIS.

Property of AT&T
Authorized
Personnel Only

In case of emergency, or prior to performing maintenance on this site, call 800-638-2822 and reference cell site number OKL01932

CAUTION

Beyond this point,
Radio frequency fields at this site
may exceed FCC rules for human
exposure.

For your safety, obey all posted signs
and site guidelines for working in radio
frequency environments.

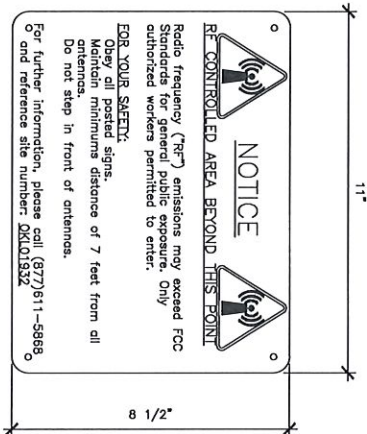
NO TRESPASSING

5 TOWER SIGNAGE DETAIL

SCALE: N.T.S.

NOTES:

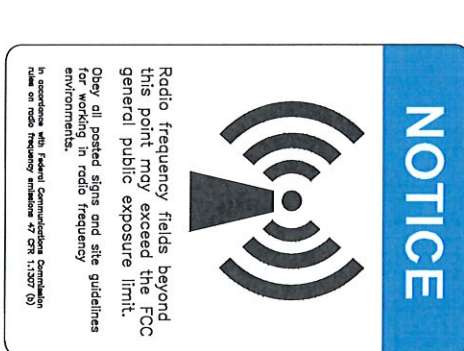
1. SIGNS TO BE MOUNTED ON THE OUTSIDE OF ACCESS GATE TO THE EXISTING COMPOUND



2 SIGNAGE DETAIL

SCALE: N.T.S.

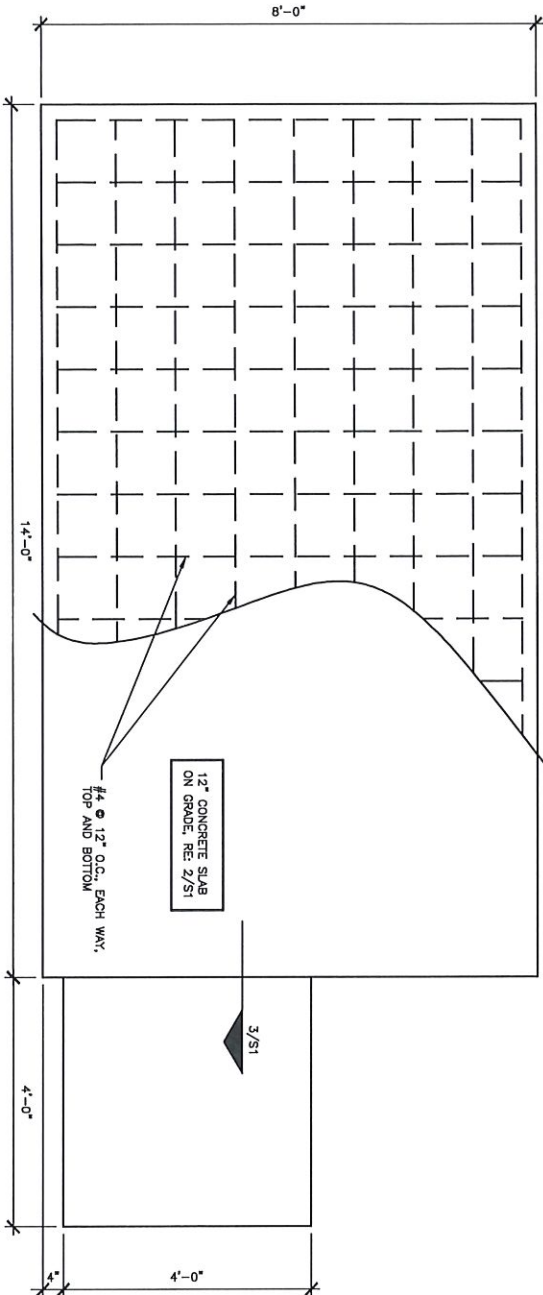
RF NOTICE SIGN
(WHITE METAL SIGN W/ BLACK LETTERING)



3 SIGNAGE DETAIL

SCALE: N.T.S.

 405 N. BROADWAY, 7TH FLOOR OKLAHOMA CITY, OK 73102 PH: (405) 525-8134		CRB COMPANIES LLC 7115 SOUTH LEMAS AVE STE 300 TULSA, OKLAHOMA 74136 (918) 949-4551		PRODUCED BY:  Branch ENGINEERING LLC BRANCH ENGINEERING LLC 7335 SOUTH LEMAS AVE, STE. 300 TULSA, OKLAHOMA 74136 (918) 949-4551 COA. 8525 EXP. 6/30/2022		SITE NAME: SOUTH DURANT SITE NUMBER: OKL01932 SITE ADDRESS: 2201 S 9TH AVE DURANT OK 74701		ENGINEER:  JEFF R. DOTSON PROFESSIONAL ENGINEER OKLAHOMA 27779 PE # 27779 EXP. 12/31/2021	
NO DATE DESCRIPTION BY A 7/15/21 PRELIMINARY ISSUE JWM B 7/16/21 PRELIMINARY ISSUE JWM C 7/19/21 PRELIMINARY ISSUE JWM D 9/13/21 CONST. ISSUE JWM		SHEET TITLE: SIGNAGE DETAILS		SHEET NUMBER: PROJECT #: OKL01932		REVISIONS: 0			

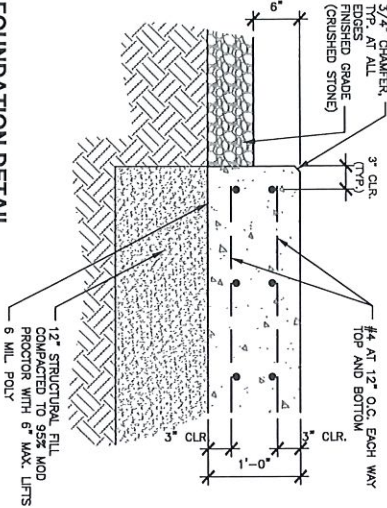


NOTES:

1. SLAB TO BE USED: 41/4"
2. SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
3. SLAB FOUNDATION DESIGNED ASSUMING MAXIMUM SOIL PLASTICITY INDEX OF 27 PER AISC.
4. CONCRETE STRENGTH FOR FOUNDATION DESIGN SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS.
5. FOOTINGS TO EXTEND BELOW UNDISTURBED SOIL PER SITE SPECIFIC DESIGN.
6. REFER TO THE GENERAL NOTES FOR ADDITIONAL NOTES.

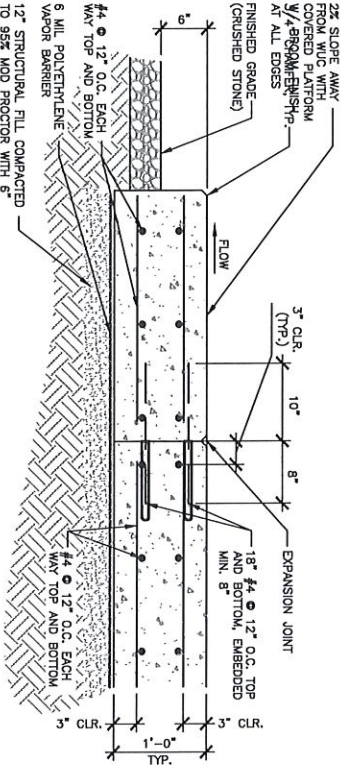
1 TYPICAL FOUNDATION PLAN

SCALE: 0" = 5'



2 FOUNDATION DETAIL

SCALE: N.T.S.



3 WUC WITH COVERED PLATFORM FOUNDATION AND STOOP DETAIL

SCALE: N.T.S.

VENDOR:



405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 528-8134



CRB COMPANIES, LLC
733 SOUTH LEWIS AVE, STE. 300
TULSA, OKLAHOMA 74136
(918) 549-4551

PRODUCED BY:



BRANCH ENGINEERING LLC
7335 SOUTH LEWIS AVE, STE. 300
TULSA, OKLAHOMA 74136
(918) 949-4551
COL. 8525 EXP. 6/30/2022

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT, OK 74701

ENGINEER:



PE # 27779 EXP. 12/31/2021

NO.	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JWM
B	7/19/21	PRELIMINARY ISSUE	JWM
C	7/19/21	PRELIMINARY ISSUE	JWM
D	9/13/21	CONST. ISSUE	JWM

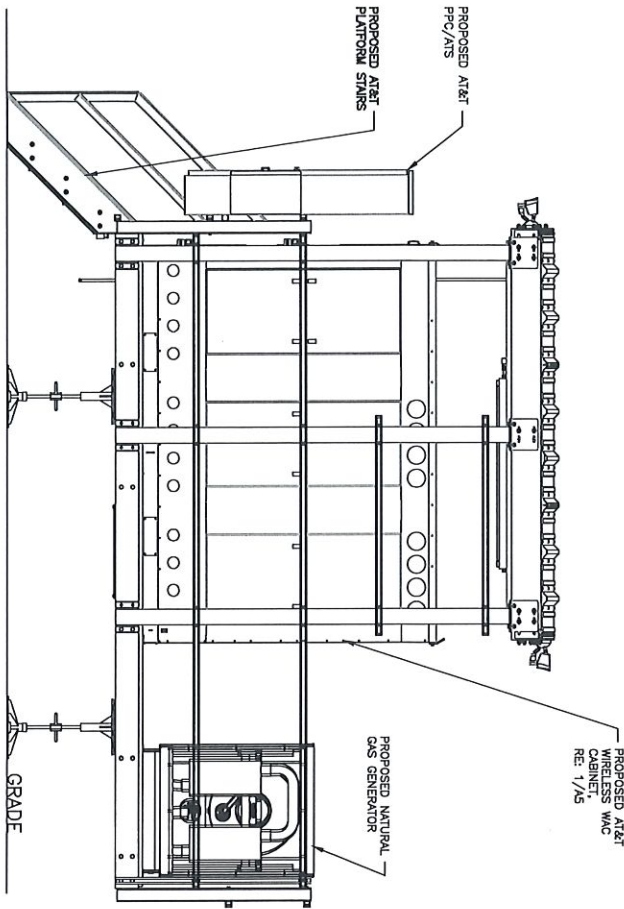
SHEET TITLE:
WUC FOUNDATION DETAILS

SHEET NUMBER: PROJECT #:
OKL01932

REVISIONS:
S1
BY: JWM
CHK: JWM
APP: JWM

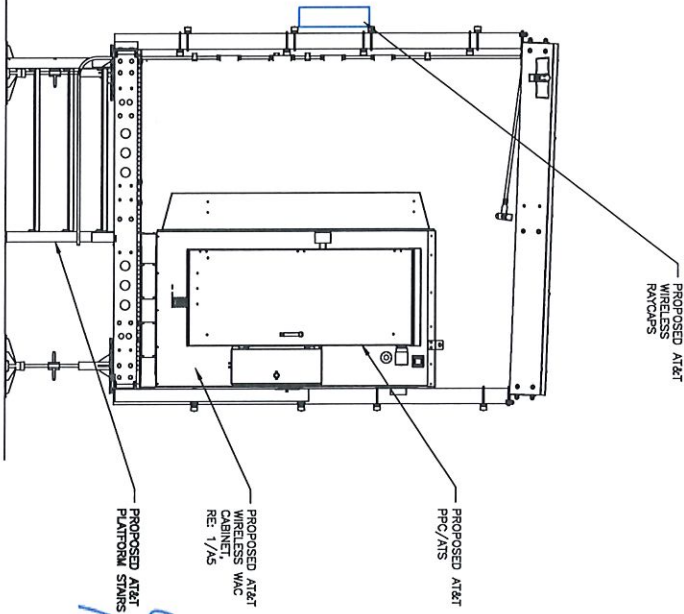
1 PLATFORM ELEVATION

SCALE: N.T.S.



2 PLATFORM ELEVATION

SCALE: N.T.S.



CRB
COMPANIES LLC
CRB COMPANIES, LLC
7135 SOUTH LEWIS AVENUE, SUITE 300
TULSA, OKLAHOMA 74136
(918) 589-4551

Branch
ENGINEERING LLC
BRANCH ENGINEERING LLC
7335 SOUTH LEWIS AVE. STE. 300
TULSA, OKLAHOMA 74136
(918) 949-4551
OKLA. 8525 EXP. 6/30/2022

at&t
Your World. Delivered.
405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 523-6134

ENGINEER:
JEROD R. DOTSON
27779
OKLAHOMA
9/13/21
PE # 27779 Exp. 12/31/2021

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT 8911) 2201 S 9TH AVE.
DURANT, OK 74701

PRODUCED BY:

NO. **DATE** **DESCRIPTION** **BY**

A	7/13/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM

SHEET TITLE:
PLATFORM ELEVATIONS

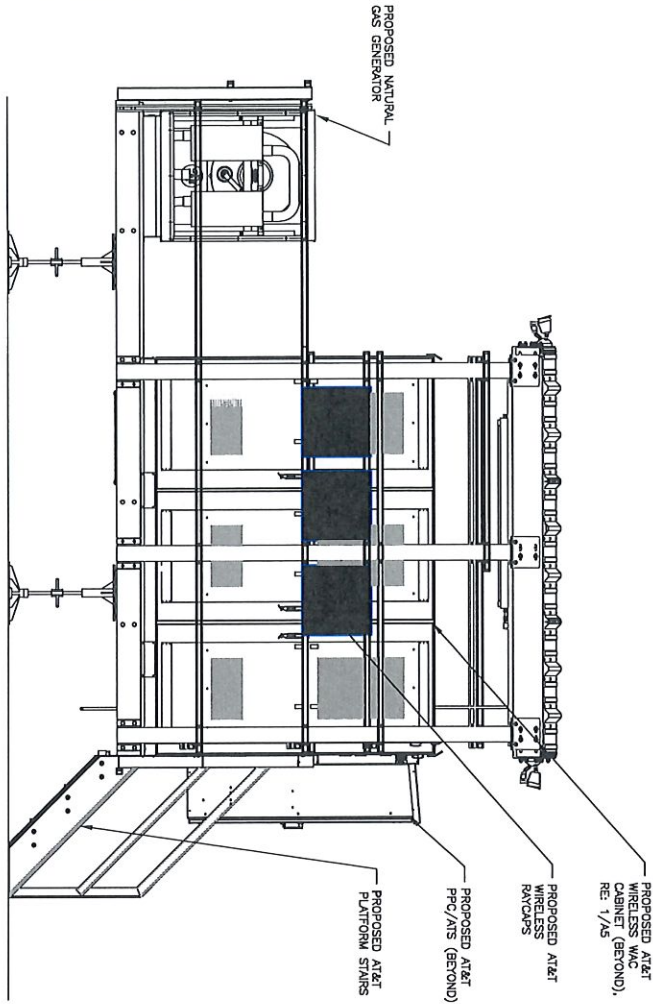
SHEET NUMBER/PROJECT #:
OKL01932

REVISION:
S2

BY: JMM
CHKD BY: JMM
0

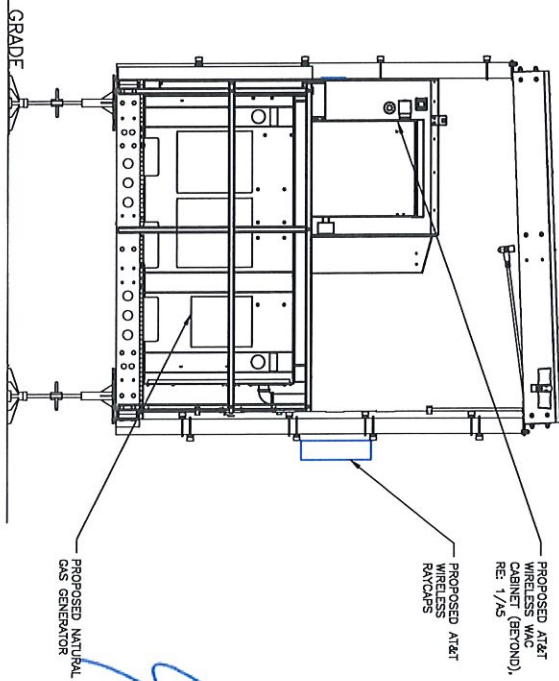
1 PLATFORM ELEVATION

SCALE: N.T.S.



2 PLATFORM ELEVATION

SCALE: N.T.S.



SHEET TITLE:		PLATFORM ELEVATIONS	
SHEET NUMBER/PROJECT #:		S3 / OKLD1932	
REVISIONS:		0	
NO.	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/19/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM

ENGINEER:		JEFFORD R. DOTSON 47719 OKLAHOMA 9/13/21	
SITE NAME:		SOUTH DURANT	
SITE NUMBER:		OKLD1932	
SITE ADDRESS:		(NOT E911) 2201 S 9TH AVE. DURANT OK 74701	
PRODUCED BY:		Branch ENGINEERING LLC BRANCH ENGINEERING LLC 7335 SOUTH LEWIS AVE, STE. 300 TULSA, OKLAHOMA 74136 (918) 948-4551 COA. 8525 EXP. 6/30/2022	

CRB COMPANIES LLC CRB COMPANIES, LLC 7335 SOUTH LEWIS AVE STE 300 TULSA, OKLAHOMA 74136 (918) 948-4551	
---	--

VENDOR:		at&t Your World. Delivered. 405 N. BROADWAY, 7TH FLOOR OKLAHOMA CITY, OK 73102 PH: (405) 529-8134	
---------	--	---	--

NOTES:
1. CONTRACTOR TO STUB-UP REQUIRED CONDUITS PRIOR TO POURING CONCRETE PER EQUIPMENT CABINET INSTRUCTIONS.

FOR WIRING & PROGRAMMING SEE SHEET E2

NOTES:
1. CONTRACTOR TO VERIFY SOURCES OF POWER & TELCO

NOTES:
1. CONTRACTOR TO ADD PULL STRINGS TO ALL NEW CONDUITS

NATURAL GAS METER AND PIPING ROUTE TO BE VERIFIED WITH LOCAL PROVIDER, NA

IS GAS PROVIDER AT SITE
NA

PROPOSED FIBER VAULT
PLACED BY ETS VENDOR

TELCO CONDUIT ROUTING AND SIZE FROM
STUB-UP TO EQUIPMENT CABINET TO BE
DETERMINED AT UTILITY SITE WALK
BEFORE CONDUIT ROUTING IS
CONSTRUCTED. GC TO CONTACT AT&T
CONSTRUCTION MANAGER FOR STUB UP
LOCATION OUTSIDE OF COMPOUND.

3" RIGID POWER CONDUIT FROM
MULTI-TENANT RACK TO EXISTING
SERVICE

PROPOSED AT&T WIRELESS WUC

PROPOSED POWER VAULT
AS REQUIRED PER CODE

PROPOSED 3" PVC CONDUIT FOR
FIBER/TELCO FROM SOURCE TO AT&T LOAD
CENTER ON WUC (COORDINATE WITH UTILITY
PROVIDER).

PROPOSED (1) 3" PVC CONDUIT FOR
POWER FROM UTILITY RACK TO AT&T
LOAD CENTER ON WUC (IN COMMON
TRENCH WITH TELCO).

PROPOSED UTILITY CONDUITS
MUST BE A MIN. OF 18" (TYP.)
FROM FENCE LINE, RE: 2/22 FOR
TRENCHING DETAIL

PROPOSED AT&T WIRELESS 15X20
LEASE AREA

PROPOSED GPS LOCATION

PROPOSED 165'
MONOPOLE

PROPOSED AT&T WIRELESS
WUC WITH COVERED
PLATFORM

PROPOSED NATURAL
GAS GENERATOR

ELECTRICAL CODE BUILD SETBACK

PROPOSED MULTI-TENANT UTILITY
RACK, RE: 1/E3

PROPOSED 3" PVC CONDUIT FOR
FIBER/TELCO FROM SOURCE TO UTILITY
RACK (COORDINATE WITH UTILITY PROVIDER).

PROPOSED FIBER LINE
TO ROW

1
UTILITY ROUTING PLAN
SCALE: 0 5' 10' 20' 30'



TRUE NORTH
(2, MAG E)

VENDOR:



405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 525-6134



CRB COMPANIES, LLC
7735 SOUTH LEWIS AVE STE 300
TULSA, OKLAHOMA 74136
(918) 580-4351

PRODUCED BY:



BRANCH ENGINEERING LLC
7335 SOUTH LEWIS AVE, STE. 300
TULSA, OKLAHOMA 74136
(918) 949-4551
COL. 8525 EXP. 6/30/2022

SITE NAME:

SOUTH DURANT

SITE NUMBER:

OKL01932

SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT, OK 74701

ENGINEER:



PE # 27779 EXP. 12/31/2021

SHEET TITLE:

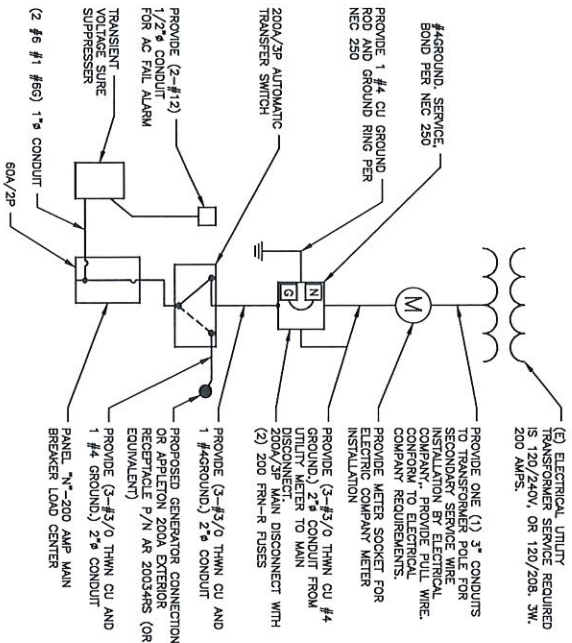
UTILITY PLAN AND DETAILS

SHEET NUMBER: PROJECT #:

E1
BY: JMW
JMW
0

1
ONE LINE DIAGRAM
SCALE: N.T.S.

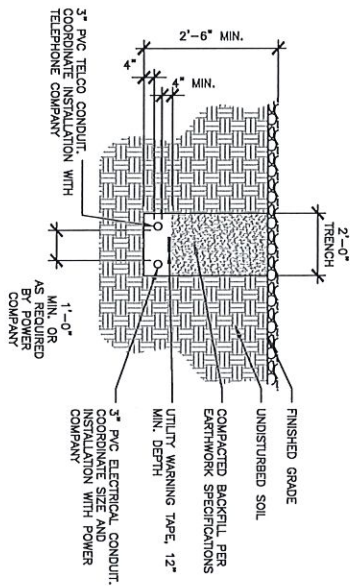
•DETAIL PROVIDED BY OWNER•



2 TRENCH DETAIL

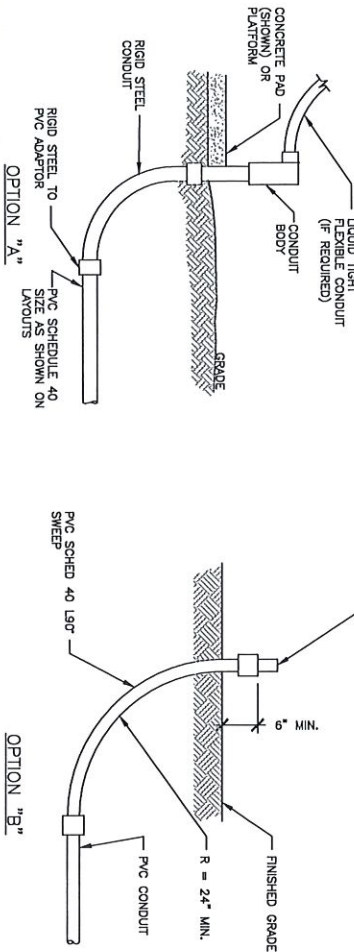
SCALE: N.T.S.

SCALE: N.T.S.



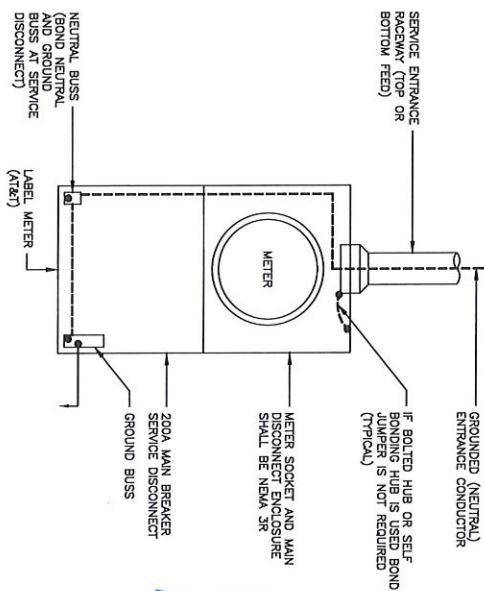
3 CONDUIT DETAILS
SCALE: N.T.S.

CALL: 8.1.0.



4 SERVICE ENTRANCE GROUNDING
SCALE: N.T.S.

COPIES: 11.00



ENGINEER: _____

PE # 27779 EXP. 12/31/2021

9/13/21



NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM

SHEET TITLE: _____

ELECTRICAL DETAILS

SHEET NUMBER: **E2**

BY: JMM

REVISION: _____

OK'D BY: JMM

VENDOR:



at&t
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405 N BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134

CRB
COMPANIES LLC

7335 SOUTH LEWIS AVE STE 300
TULSA, OKLAHOMA 74136
(918) 949-4551

PRODUCED BY:



BRANCH ENGINEERING LLC
7335 SOUTH LEWIS AVE., STE. 300
TULSA, OKLAHOMA 74136
(918) 949-4551

COA 8525 EXP. 6/30/2022

SITE NAME:
SOUTH DURANT

SITE NUMBER:

OKL01932

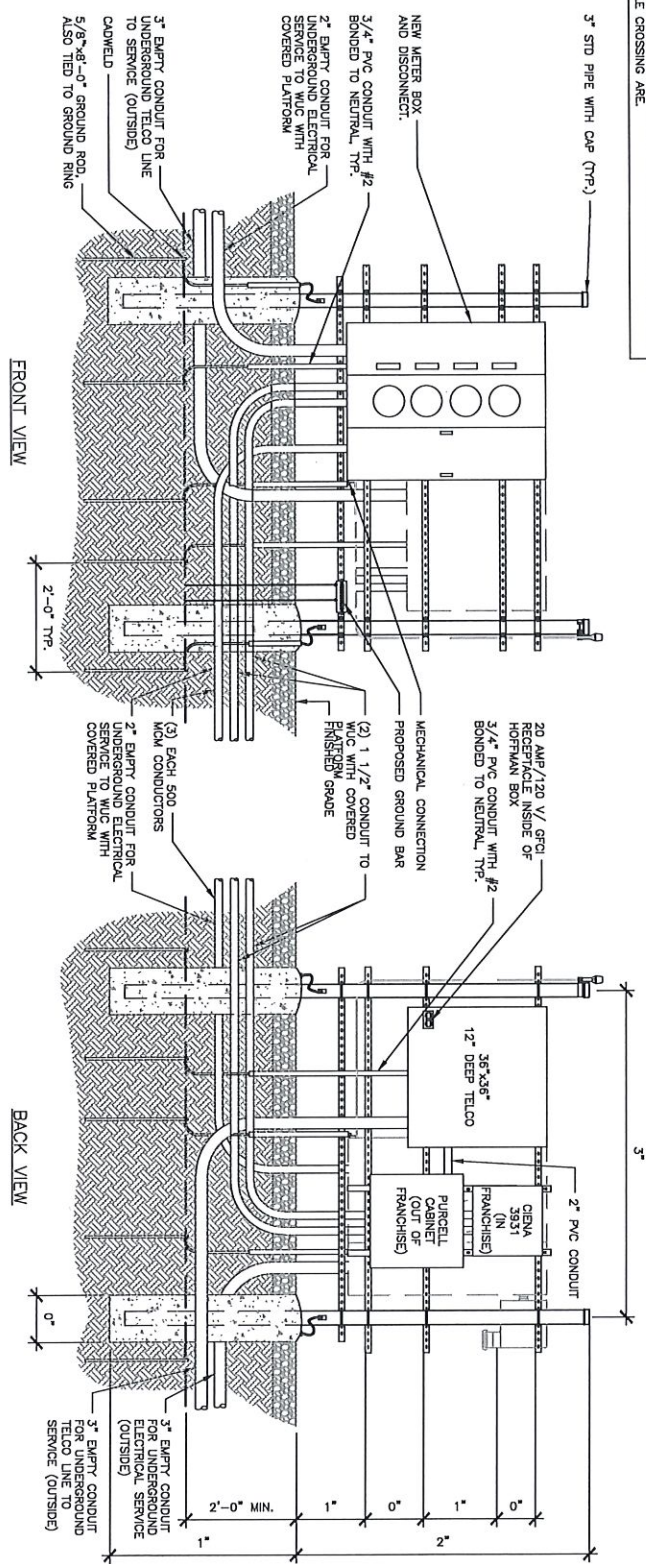
SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE
DURANT OK 74701



PE # 27779 EXP. 12/31/2021

- NOTES:**
1. ALL EXPOSED ELECTRICAL CONDUIT MUST BE RIGID.
 2. THREADLESS CONNECTORS ARE NOT ALLOWED.
 3. USE SQUARE 1" x 20" FUSIBLE DISCONNECT.
 4. USE ONLY COMPRESSION TYPE FITTINGS ON EMT CONDUIT.
 5. USE ONLY COMPRESSION TYPE FITTINGS ON EMT CONDUIT.
 6. USE ONLY STRANDED CONDUCTORS FOR ALL ELECTRICAL WIRING, (EXCEPT TELCO AND THERMOSTAT).
 7. USE SCHEDULE 80 CONDUIT UNDER DRIVEWAYS AND/OR ANY VEHICLE CROSSING ARE.

ELECTRICAL COMPANY NOTE:
ELECTRICAL PROVIDER SHALL COORDINATE WITH T&D CONSTRUCTION MANAGER TO DETERMINE TOTAL AMOUNT OF AMPS THAT WILL BE PROVIDED TO PROPOSED UTILITY RACK

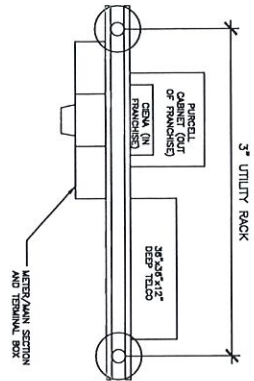


1 FOUR GANG UTILITY RACK ELEVATIONS

SCALE: N.T.S.

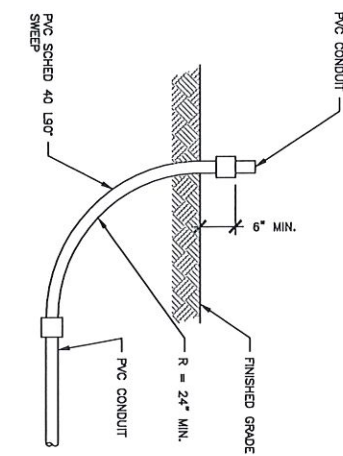
2 UTILITY RACK PLAN

SCALE: N.T.S.



3 CONDUIT DETAIL

SCALE: N.T.S.



SHEET TITLE:		REVISIONS	
UTILITY RACK DETAILS			
NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST ISSUE	JMM
SHEET NUMBER: PROJECT #:		0	
E3		0	

ENGINEER:
JEFF R DOTSON
4779
OKLAHOMA
9/13/21

PRODUCED BY:
Branch
ENGINEERING LLC
7335 SOUTH LEWIS AVE, STE 300
TULSA, OKLAHOMA 74136
(918) 949-4551
CDL 8525 EXP. 6/30/2022

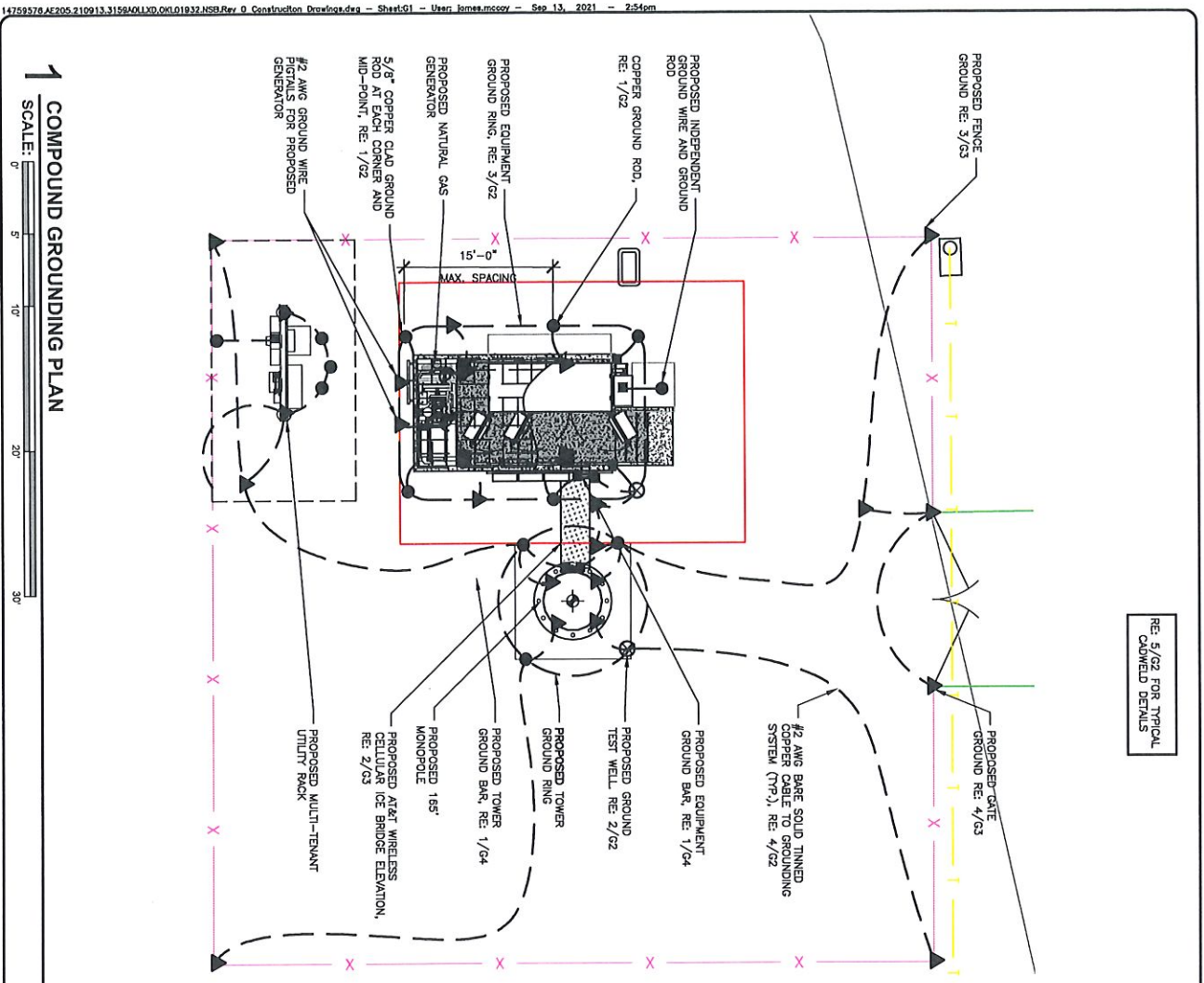
SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

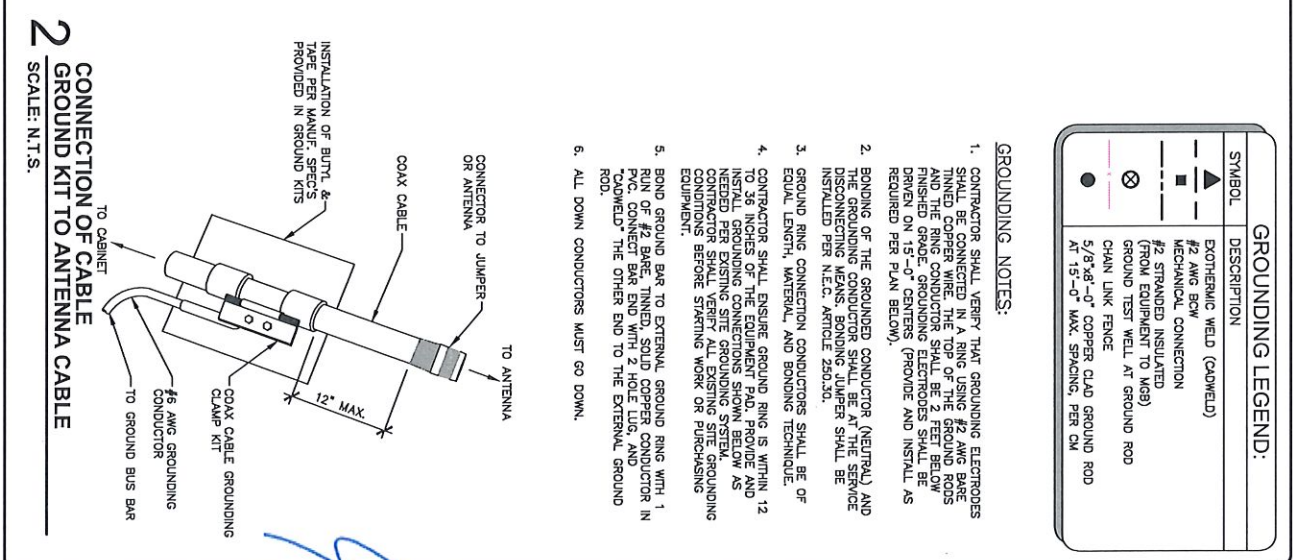
SITE ADDRESS:
(NOT E311) 2201 S 9TH AVE.
DURANT OK 74701

COMPANIES LLC
CRB COMPANIES, LLC
735 SOUTH LEWIS AVE, STE 300
TULSA, OKLAHOMA 74136
(918) 949-4551

at&t
Your World. Delivered.
405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



RE: 5/62 FOR TYPICAL CABLEWELD DETAILS



GROUNDING LEGEND:

SYMBOL	DESCRIPTION
▲	EXOTHERMIC WELD (CABLEWELD)
■	#2 AWG BOW MECHANICAL CONNECTION
⊗	#2 STRANDED INSULATED (FROM EQUIPMENT TO MGR) GROUND TEST WELL AT GROUND ROD
●	CHAIN LINK FENCE
○	5/8"x8'-0" COPPER CLAD GROUND ROD AT 15'-0" MAX. SPACING, PER CM

GROUNDING NOTES:

- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTORS SHALL BE 2 FEET BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 15'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED PER PLAN BELOW).
- BONDING OF THE GROUNDING CONDUCTOR (NEUTRAL) AND THE GROUNDING MEANS, BONDING JUMPER SHALL BE INSTALLED PER NEC, ARTICLE 250.35.
- GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
- CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN BELOW AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
- BOND GROUND BAR TO EXTERNAL GROUND RING WITH 1 RUN OF #2 BARE, TINNED, SOLID COPPER CONDUCTOR IN CONDUCTOR BAR END WITH 2 HOLE LUGS, AND TOWNEED THE OTHER END TO THE EXTERNAL GROUND ROD.
- ALL DOWN CONDUCTORS MUST GO DOWN.

ENGINEER:
JEROD R DOTSON
27779
OKLAHOMA
9/13/21

PE # 27779 Exp. 12/31/2021

PRODUCED BY:
Branch
ENGINEERING LLC.
A DIVISION OF
7335 SOUTH LENS AVE, STE 300
TULSA, OK 74116
(918) 946-4551
COA. 8225 EXP. 6/30/2022

COMPANIES LLC
CRB
7335 SOUTH LENS AVE STE 300
TULSA, OKLAHOMA 74116
(918) 946-4551

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

ADDRESS:
(NOT E311) 2201 S 9TH AVE.
DURANT, OK 74701

REVISIONS:

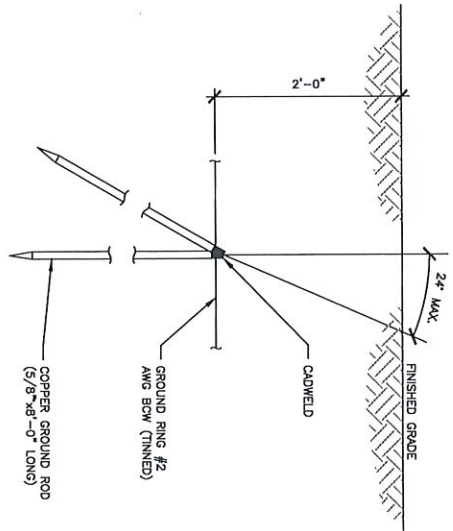
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B	7/17/21	PRELIMINARY ISSUE	JWM
C	7/17/21	PRELIMINARY ISSUE	JWM
D	9/13/21	CONSTRUCTION ISSUE	JWM

SHEET TITLE:
COMPOUND GROUNDING PLAN

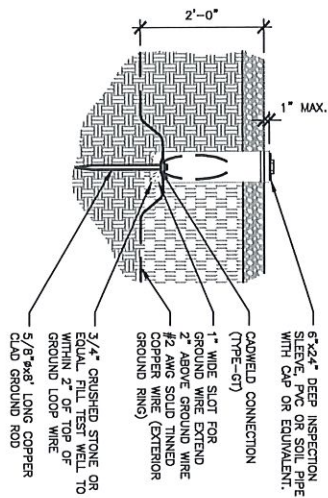
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PROJECT #:
OKL01932

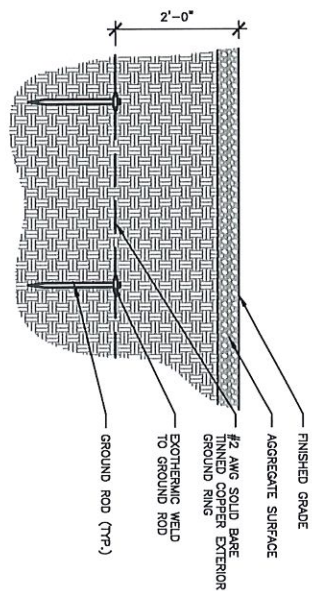
REVISIONS:
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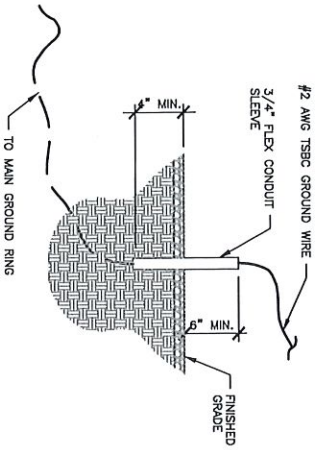
1
ANTENNA CABLE GROUNDING DETAIL
SCALE: N.T.S.



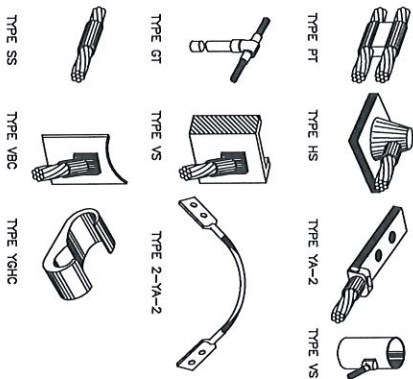
2
GROUND TEST WELL DETAIL
SCALE: N.T.S.



3
GROUND RING DETAIL
SCALE: N.T.S.



4
STUB UP DETAIL
SCALE: N.T.S.



5
TYPICAL CADWELD DETAILS
SCALE: N.T.S.

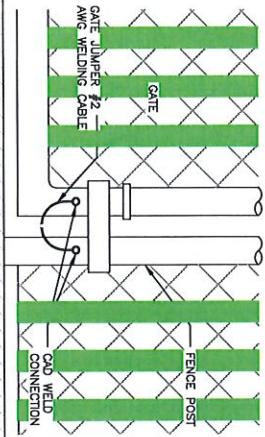
ENGINEER:		PROFESSORIAL ENGINEER	
JEFF R. DOTSON		4779	
OKLAHOMA		9/13/21	
PE # 27779 EXP. 12/31/2021			
NO.	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JWM
B	7/16/21	PRELIMINARY ISSUE	JWM
C	7/19/21	PRELIMINARY ISSUE	JWM
O	9/13/21	CONST. ISSUE	JWM
SHEET TITLE: GROUNDING DETAILS			
SHEET NUMBER: PROJECT #		REVISION:	
G2		0	

SITE NAME: SOUTH DURANT	
SITE NUMBER: OKL01932	
SITE ADDRESS: (NOT E911) 2201 S 9TH AVE. DURANT OK 74701	

PRODUCED BY:	
Branch ENGINEERING LLC.	
BRANCH ENGINEERING LLC 7335 SOUTH LEWIS AVE. STE. 300 TULSA, OKLAHOMA 74136 (918) 948-4551 CDX 8525 EXP. 6/30/2022	

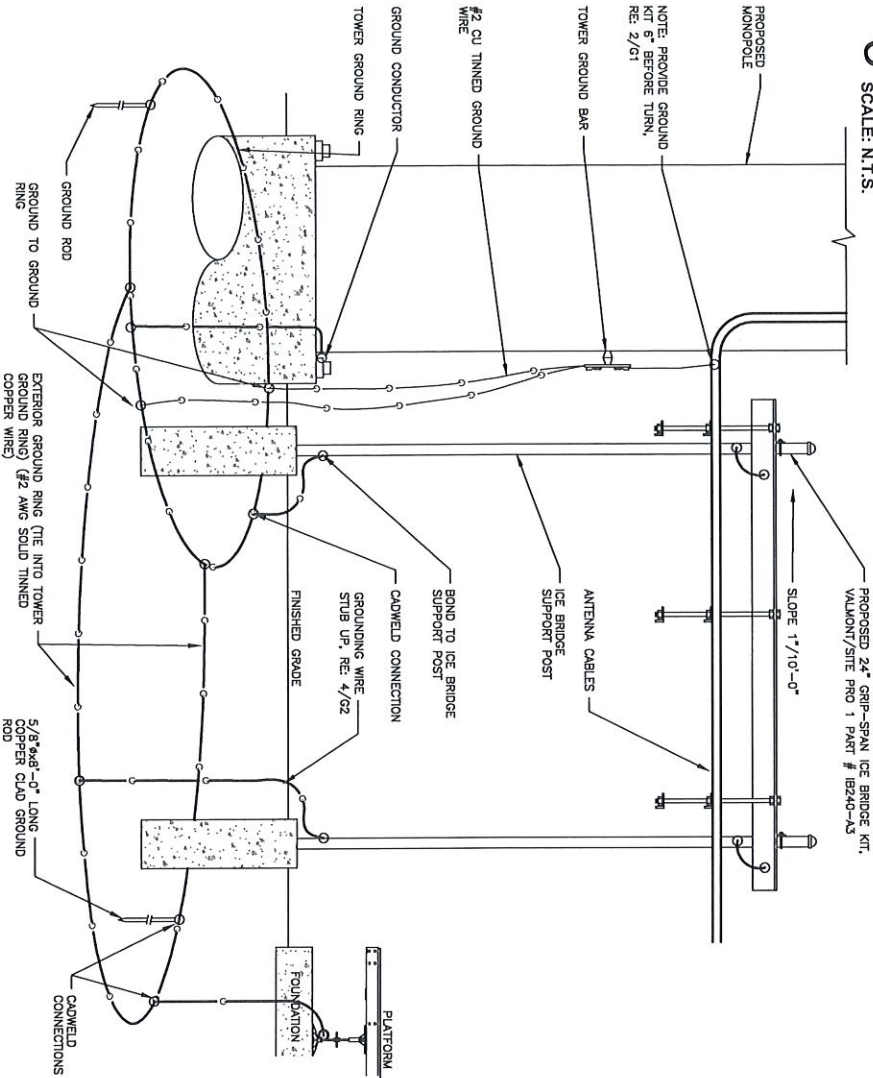
CRB COMPANIES LLC	
CRB COMPANIES, LLC 7335 SOUTH LEWIS AVE. STE. 300 TULSA, OKLAHOMA 74136 (918) 948-4551	

VENDOR:	
at&t	
405 N. BROADWAY, 7TH FLOOR OKLAHOMA CITY, OK 73102 PH: (405) 529-8134	



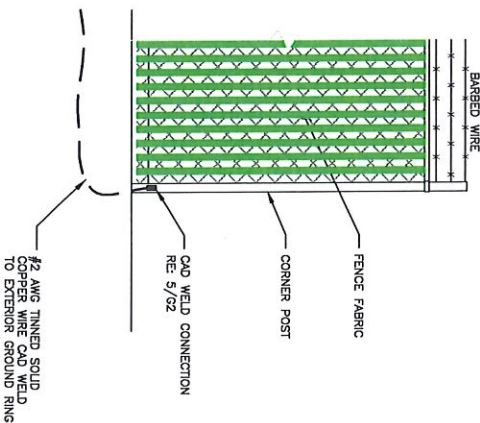
3 TYPICAL GATE GROUNDING

SCALE: N.T.S.



1 TYPICAL ICE BRIDGE AND ANTENNA CABLE DETAIL

SCALE: N.T.S.



2 FENCE GROUNDING DETAIL

SCALE: N.T.S.

VENDOR:



405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 529-8134



CRB COMPANIES, LLC
7335 SOUTH LEWIS AVE STE 300
TULSA, OKLAHOMA 74138
(918) 548-4551



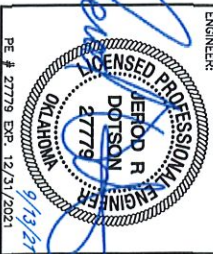
PRODUCED BY:
BRANCH ENGINEERING LLC
7335 SOUTH LEWIS AVE, STE. 300
TULSA, OKLAHOMA 74138
(918) 548-4551
CDX: 8525 EXP. 6/30/2022

SITE NAME:
SOUTH DURANT

SITE NUMBER:
OKL01932

SITE ADDRESS:
(NOT E911) 2201 S 9TH AVE.
DURANT, OK 74701

ENGINEER:



PE # 27779 EXP. 12/31/2021

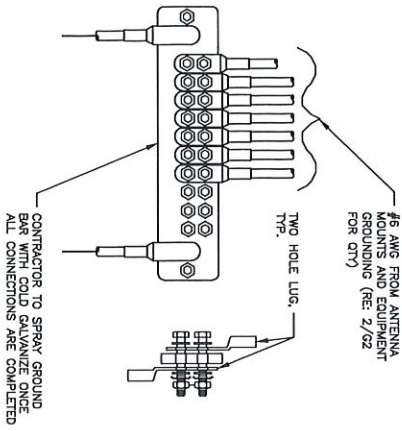
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B	7/16/21	PRELIMINARY ISSUE	JWM
C	7/19/21	PRELIMINARY ISSUE	JWM
D	9/13/21	CONST. ISSUE	JWM

SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: PROJECT # 0
BY: C&D 872
JWM JWM

1 GROUND BAR DETAIL

SCALE: N.T.S.



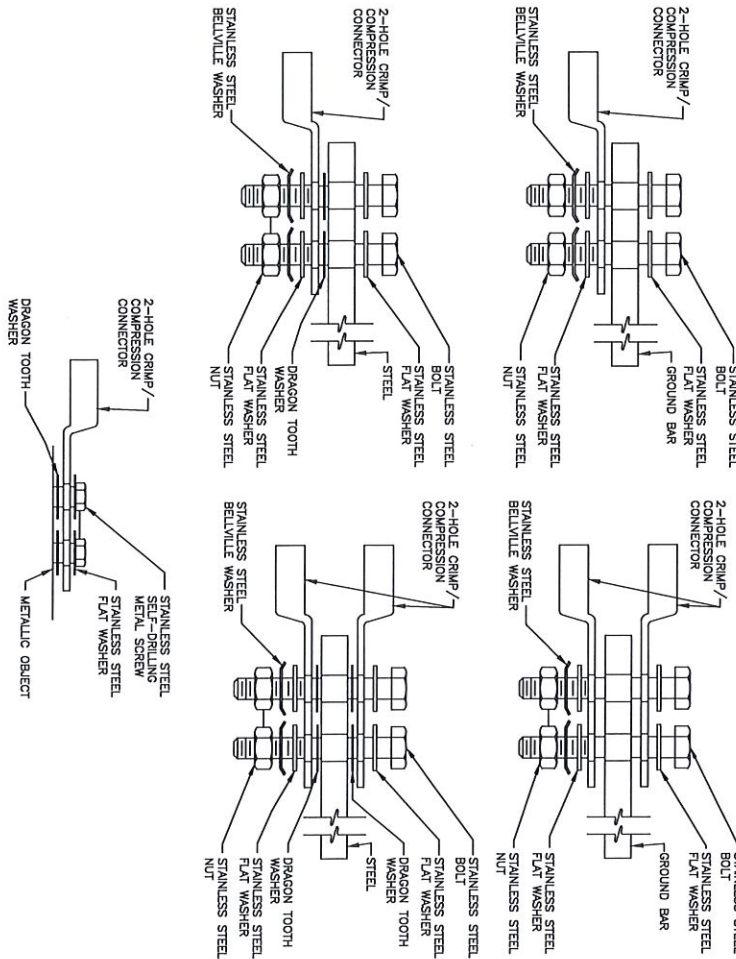
NOTE:

1. CONTRACTOR TO APPLY COPPER SHIELD OR NO-OX.
2. GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING REQUIREMENTS REQUIRED PLUS PROVIDE 30% SPARE CAPACITY.

2 MECHANICAL CONNECTION DETAILS

SCALE: N.T.S.

1. CHOOSE BOLT LENGTH TO ALLOW A MIN. OF THREE THREADS EXPOSED.
2. BURISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF THE CONNECTOR.
3. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF CONNECTOR AND WIFE OFF EXCESS COMPOUND.
4. APPLY CLEAR HEAT SHRINK OVER ENTIRE LENGTH OF LABEL FOR PROTECTION. (REFER TO CONDUCTOR LABELS SECTION.)



SHEET NUMBER	PROJECT #	REVISION
G4	OKI01932	0
BR: JMM	BY: JMM	

NO	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/16/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
D	9/13/21	CONST. ISSUE	JMM



ENGINEER:	JEFFERY R. DOTSON
STATE:	OKLAHOMA
DATE:	9/13/21
SITE NAME:	SOUTH DURANT
SITE NUMBER:	OKI01932
SITE ADDRESS:	(NOT 8911) 2201 S 9TH AVE. DURANT, OK 74701

PRODUCED BY:

Branch
ENGINEERING, LLC.

BRANCH ENGINEERING, LLC
7335 SOUTH LEWIS AVE., STE. 300
TULSA, OKLAHOMA 74136
(918) 949-4551
COA. 8525 EXP. 6/30/2022

CRB
COMPANIES, LLC

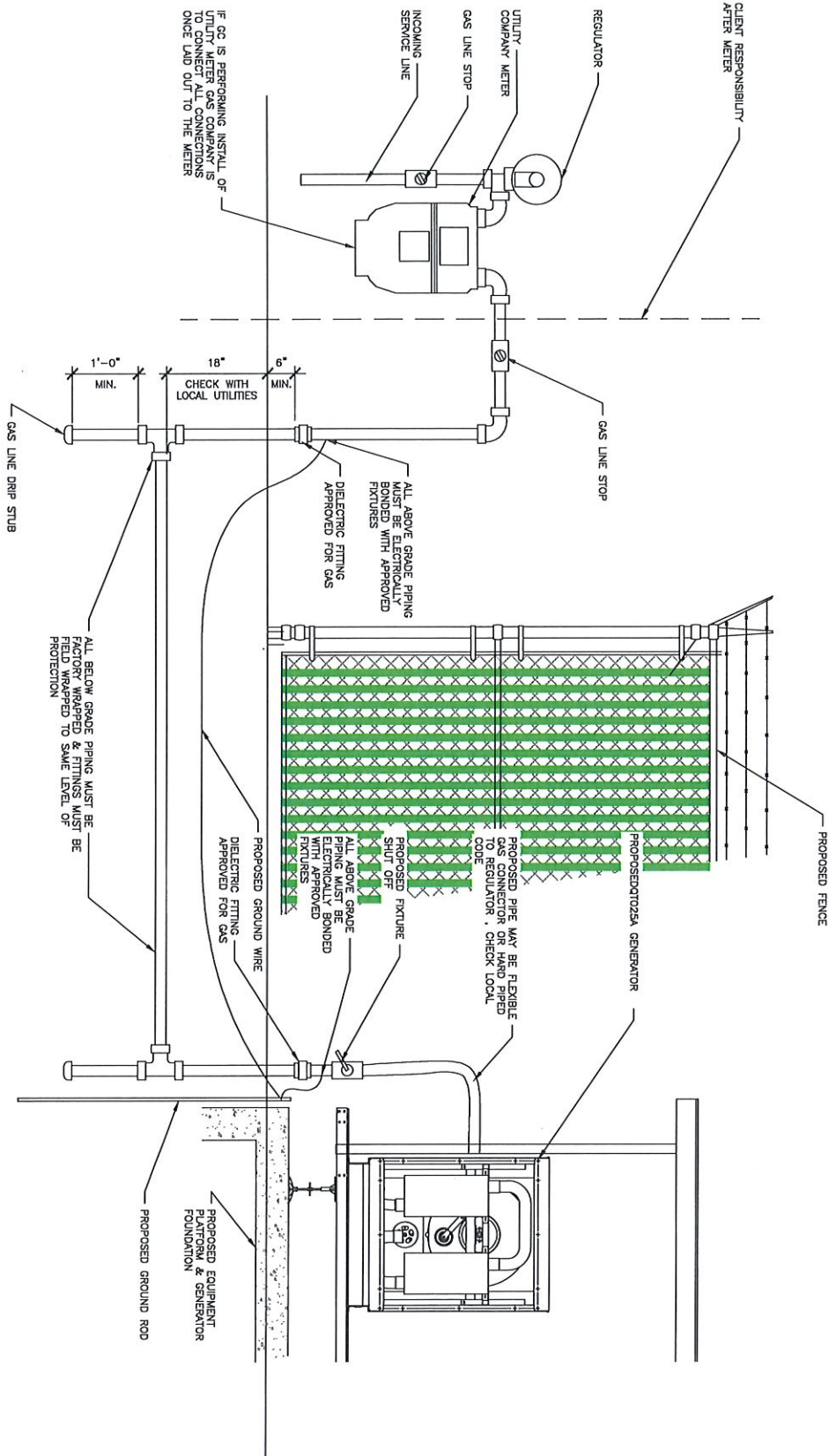
CRB COMPANIES, LLC
7315 SOUTH LEWIS AVE., STE. 200
TULSA, OKLAHOMA 74136
(918) 949-4551

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OKLAHOMA CITY, OK 73102
PH: (405) 528-9134

1 NATURAL GAS DETAIL

SCALE: N.T.S.



SHEET NUMBER	PROJECT #	REVISION
G5	OKL01932	0
BY: JMM	CHKD: BTE	JMM

NO.	DATE	DESCRIPTION	BY
A	7/15/21	PRELIMINARY ISSUE	JMM
B	7/18/21	PRELIMINARY ISSUE	JMM
C	7/19/21	PRELIMINARY ISSUE	JMM
O	9/13/21	CONST. ISSUE	JMM

PE # 27779 EXP. 12/31/2021

9/13/21

JEFF R DOTSON

27779

OKLAHOMA

REGISTERED PROFESSIONAL ENGINEER

ENGINEER:

SITE ADDRESS:
(NOT 8911) 2201 S 9TH AVE.
DURANT OK 74701

SITE NUMBER:
OKL01932

SITE NAME:
SOUTH DURANT

PRODUCED BY:

Branch
ENGINEERING, LLC.

BRANCH ENGINEERING, LLC
7335 SOUTH LEWIS AVE. STE. 300
TULSA, OKLAHOMA 74136
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COA. 8528 EXP. 6/30/2022

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COMPANIES LLC

CRB COMPANIES, LLC
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TULSA, OKLAHOMA 74136
(918) 949-4551

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405 N. BROADWAY, 7TH FLOOR
OKLAHOMA CITY, OK 73102
PH: (405) 525-8134

VENDOR:



The City of Durant

Memorandum

Date: 11/2/2021
To: Mayor and City Council
From: John Dean, City Manager
Re: Discussion, Consideration, and Possible Action on a Recommendation to the City Council to Amend Section 157.031 of the Durant Code of Ordinances.

The Planning Commission requested that Section 157.031 of the Durant Code of Ordinances, Uses Permitted in Districts, be modified to restrict permitted uses outside of the zoning district groupings as identified in the tables in Section 157.031(C).

Staff Proposed Language:

Section 157.031

(A) (1) The uses permitted in the various districts are shown in division (C) of this section. The uses permitted in a more restricted district may be permitted in a less restricted district within the same zoning category, provided, however, that the yard space and other requirements of the more restricted district shall apply. For purposes of applying this rule the following shall apply:

a. each district shown in the subsequent list shall be considered to be more restrictive than the one listed to the right; and,

b. zoning categories shall consist of the following:

1. Residential – Districts A-1, R-1, R-2, R-3, and R-4.
2. Commercial – Districts C-0, C-1, C-2, C-3, and CBD.
3. Industrial – Districts I-1, and I-2.
4. Other – District H-1.

Council Information / Action Requested

City Staff Information / Action Follow-up, if Council authorizes this action:

Present a recommended Ordinance for Council consideration.

ATTACHMENTS: